

LIVINGSTON COUNTY TREASURER'S CERTIFICATE

I hereby certify that there are no TAX LIENS OR TITLES held by the State or any individual against the within description, and all TAXES are same as paid for five years previous to the date of this instrument or appear on the records in this office except as stated.

11-22-2021 Jennifer M. Nash, Treasurer

2021 Taxes not examined Certificate # 28617

2021R-047198
RECORDED ON
11/22/2021 02:42:54 PM
BRANDON DENBY
REGISTER OF DEEDS
LIVINGSTON COUNTY, MI 48843
RECORDING: 26.00
REMON: 4.00
PAGES: 14

14
**SECOND AMENDMENT TO THE MASTER DEED OF
WALNUT RIDGE ESTATES SITE CONDOMINIUM
PLAN 412 - RECORDED ON 5-20-2016 AT 2016R-015251**


THIS AMENDMENT AMENDS ONLY EXHIBIT B TO THE MASTER DEED. EXHIBIT B SHALL BE REPLACED IN ITS ENTIRETY BY THE EXHIBIT ATTACHED HERETO. THIS AMENDMENT SUPERCEDES AND REPLACES THE FIRST AMENDMENT TO THE MASTER DEED IN ITS ENTIRETY.

WALNUT RIDGE ESTATES SITE CONDOMINIUM IS A 65 UNIT SITE CONDOMINIUM PROJECT LOCATED IN HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN, AS DESCRIBED FULLY IN THE EXHIBIT ATTACHED HERETO.

TAX ID#s: 4708-19-300-021 & 4708-19-300-022 ± 08-19-301-001 THRU - 065

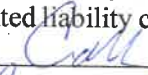
The Developer has executed this Second Amendment to the Master Deed of Walnut Ridge Estates Site Condominium as of November 15th, 2021 for the purpose of amending Exhibit B attached hereto.

WALNUT RIDGE ESTATES, LLC


By: Jack Lansing, II
Its: Manager

STATE OF MICHIGAN)
) ss
COUNTY OF LIVINGSTON)

The foregoing instrument was acknowledged before me this 15th day of November, 2021, by Jack Lansing, II, Manager of Walnut Ridge Estates, LLC, a Michigan limited liability company, on behalf of said company.


Catherine A. Riesterer, Notary Public
State of Michigan, County of Livingston
My Commission Expires: 4-6-26
Acting in the County of Livingston

DRAFTED BY AND WHEN RECORDED RETURN TO:
✓ Catherine A. Riesterer
COOPER & RIESTERER, PLC
7900 Grand River Road
Brighton, MI 48114
(810) 227-3103



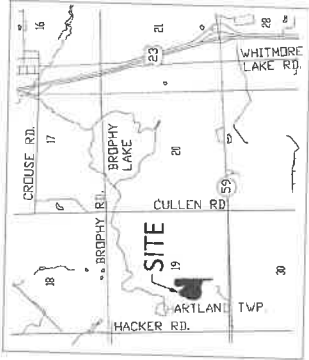
22 NOV 22 PM 05:50

SURVEY PLAN



SCALE: 1 INCH = 150 FEET

PROSS
Engineering
Professional Engineers License #010300
3122 E. GRAND RIVER AVE.
HOWELL, MI. 48843
800.246.8735 FAX 517.548.1670



LOCATION MAP
NOT TO SCALE
HARTLAND TOWNSHIP, LIVINGSTON COUNTY

- BENCHMARKS: (NAD83 DATUM)
- BM #200: CHISELED "X" TOP NORTH SIDE OF CONCRETE FOUNDATION OF HIGH TENSION OVERHEAD POWER LINE TOWER SOUTH SIDE OF M-59 @ SOUTH 1/4 CORNER SECTION 19 HARTLAND, ELEV. 1038.82
 - BM #201: 10" DIA. OF CONCRETE CULVERT ON NORTH SIDE OF M-59 WEST OF S 19
 - BM #202: 60" DIA. OF CONCRETE CULVERT ON NORTH SIDE OF M-59 WEST OF S 19
 - BM #203: 60" DIA. OF CONCRETE CULVERT ON NORTH SIDE OF M-59 WEST OF S 19
 - BM #204: CENTER LINE ON TOP OF CURB, EAST ISLAND IN THE VENTURE CHURCH'S EAST PARKING LOT, ELEV 1028.28

CHRISTOPHER S. FERGUS, PROFESSIONAL LAND SURVEYOR OF THE STATE OF MICHIGAN HEREBY CERTIFIES THAT THE SURVEY KNOW AS LIVINGSTON COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 11-15-2021 MADE UNDER MY DIRECTION, THAT THERE ARE NO ENCROACHMENTS UPON THE LANDS AND PROPERTY HEREIN DESCRIBED. ALL REQUIRED MONUMENTS AND IRON MARKERS WILL BE LOCATED IN THE YEAR FROM THE RECORDED DATE AS REQUIRED BY RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978, THAT THE ACCURACY OF THIS SURVEY IS WITHIN THE LIMITS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978. THAT THE BENCHMARKS OF 1978 ARE NOT LISTED ON THE SURVEY PLAN AS REQUIRED BY THE RULES PROMULGATED UNDER SECTION 142 OF ACT NUMBER 59 OF THE PUBLIC ACTS OF 1978.

CHRISTOPHER S. FERGUS, PROFESSIONAL SURVEYOR LICENSE NO. 47055
BOSS ENGINEERING CO.
372 E. GRAND RIVER AVE.
HOWELL, MI. 48843

NOTES:

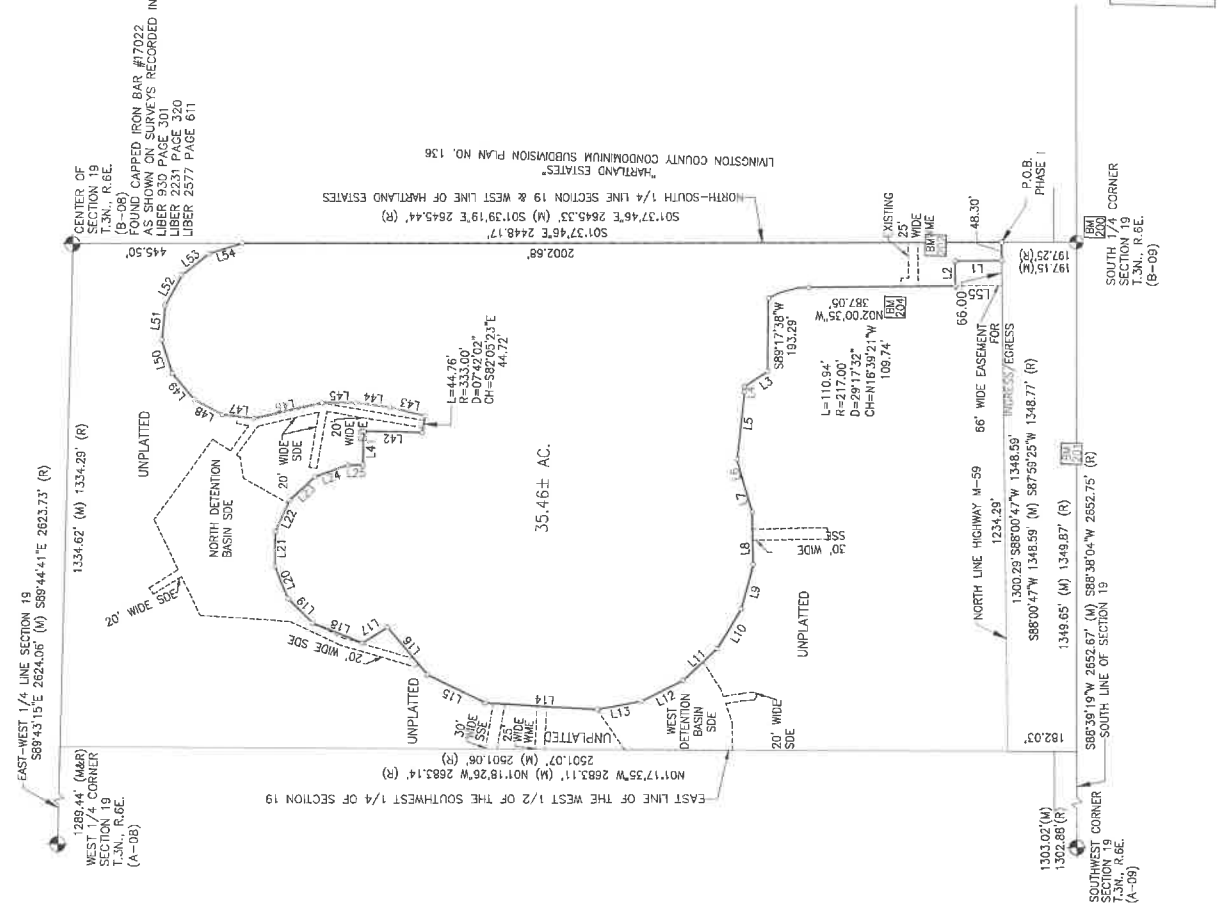
1. BENCHMARKS WERE ESTABLISHED FROM ADJ. RIGHT OF WAY MAP, FILE NO. 472, JOB NO. 47-28-39518B, SHEET NO. 56, WITH A LAST REVISION DATE OF 11/19/23.
2. WETLANDS LIMITS PER BOSS ENGINEERING DELINEATION COMPLETED IN THE SPRING OF 2015.

LEGEND:

- SEE PRIVATE EASEMENT FOR STORM DRAINAGE
- SEE PRIVATE EASEMENT FOR PUBLIC WATER MAIN
- SEE PRIVATE EASEMENT FOR PUBLIC SANITARY SEWER
- SEE PRIVATE EASEMENT FOR PUBLIC UTILITIES

THE PROPERTY DESCRIBED HEREIN IS DESIGNATED AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN (ZONE X) ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM), FOR THE TOWNSHIP OF HARTLAND, LIVINGSTON COUNTY, MICHIGAN, MAP NUMBER 26092C021B, PANEL 218 OF 495, WITH AN EFFECTIVE DATE OF SEPTEMBER 17, 2008.

LINE	BEARING	DISTANCE
L1	N02°00'35"W	125.08'
L2	S87°59'25"W	66.00'
L3	N34°57'05"W	73.45'
L4	S89°27'43"W	13.45'
L5	N73°57'51"W	180.25'
L6	S72°40'03"W	80.66'
L7	S72°22'04"W	80.66'
L8	S87°35'15"W	137.70'
L9	N76°23'45"W	123.19'
L10	N60°22'44"W	123.19'
L11	N44°21'43"W	123.19'
L12	N29°20'42"W	123.19'
L13	N14°19'45"W	16.69'
L14	N01°48'45"W	170.15'
L15	N24°24'19"E	170.15'
L16	N48°25'50"E	183.81'
L17	N33°33'40"W	79.04'
L18	N20°30'44"E	40.75'
L19	N43°52'52"E	91.85'
L20	N86°55'01"E	91.85'
L21	S44°18'34"E	91.85'
L22	S87°20'42"E	91.85'
L23	S44°18'34"E	91.85'
L24	S21°16'25"E	40.48'
L25	S01°22'15"E	90.00'
L41	N89°38'15"E	50.00'
L42	S00°21'45"E	155.99'
L43	N17°45'38"E	94.92'
L44	N05°03'09"E	90.89'
L45	N01°39'09"E	91.85'
L46	N14°38'25"W	184.72'
L47	N05°10'13"E	84.43'
L48	N26°19'21"E	84.43'
L49	N46°23'00"E	91.85'
L50	N77°27'08"E	91.85'
L51	S85°39'43"E	91.85'
L52	S85°39'43"E	91.85'
L53	S85°39'43"E	91.85'
L54	S19°02'29"E	92.89'
L55	N02°00'35"W	125.06'



1289.44' (M&R)
WEST 1/4 CORNER
SECTION 19
T.3N., R.6E.
(A-08)

1303.02'(M)
1302.86'(R)

S88°39'19"W 2652.67' (M) S89°30'04"W 2652.75' (R)

SOUTHWEST CORNER
SECTION 19
T.3N., R.6E.
(A-09)

182.03'

1349.65' (M) 1349.67' (R)

S85°00'47"W 1348.59' (M) S87°59'25"W 1348.77' (R)

NORTH LINE HIGHWAY M-59
66' WIDE EASEMENT FOR
1234.29'

1300.29' S88°00'47"W 1348.60'

66.00'

197.22' (R)
197.15' (M)

SOUTH
SECTION 19
T.3N., R.6E.
(B-08)

CORNER

87.74'

109.74'

102.00' S87.03' W
387.03' W
153.28' W

1110.94'
R=217.00'
D=2917.32'
CH=592.0532'E
44.72'

L=44.76'
R=333.00'
D=07°42'02"
CH=592.0532'E
44.72'

20' WIDE SIDE
20' WIDE SIDE
20' WIDE SIDE

UNPLATTED
UNPLATTED
UNPLATTED

NORTH DETENTION BASIN SIDE
WEST DETENTION BASIN SIDE
SOUTH DETENTION BASIN SIDE

EXISTING 60' WIDE ROW

P.O.B. PHASE I

48.30'

2002.68'

S01°37'46"E 2645.33' (M) S01°39'19"E 2645.44' (R)

NORTH-SOUTH 1/4 LINE SECTION 19 & WEST LINE OF HARTLAND ESTATES

"HARTLAND ESTATES"
LIVINGSTON COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 136

35.46 ± AC.

EAST LINE OF THE WEST 1/2 OF THE SOUTHWEST 1/4 OF SECTION 19
N01°17'35"W 2623.11' (M) N01°18'26"W 2623.14' (R)
2501.07' (M) 2501.06' (R)

2501.07' (M) 2501.06' (R)

1334.62' (M) 1334.20' (R)

EAST-WEST 1/4 LINE SECTION 19
S87°43'15"E 2624.06' (M) S89°44'41"E 2623.73' (R)

CENTER OF SECTION 19
T.3N., R.6E.
(B-08)
CARRIED IRON BAR #77022
AS SHOWN ON SURVEYS RECORDED IN:
LIBER 933 PAGE 30
LIBER 2577 PAGE 611

SCALE: 1 INCH = 150 FEET

CLIENT: WALNUT RIDGE ESTATES, LLC.
PROJECT: WALNUT RIDGE ESTATES
TITLE: SURVEY PLAN

DESIGNED BY: TF
DRAWN BY: TE
CHECKED BY: TF
SCALE: 1" = 150'
JOB NO.: 15-078
DATE: 11/19/23
PLATTING INFORMATION

PROSS
Engineering
Professional Engineers License #010300
3122 E. GRAND RIVER AVE.
HOWELL, MI. 48843
800.246.8735 FAX 517.548.1670

PROPOSED, DATED NOVEMBER 15, 2021
UNITS 1-23 MUST BE BUILT
UNITS 24-65 NEED NOT BE BUILT

COMPOSITE PLAN

80 40 0 50 100 200
SCALE: 1 INCH = 100 FEET



BFBOSS
Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI. 48843
800.246.6735 FAX 517.548.1670

CLIENT: WALNUT RIDGE ESTATES, LLC.
PROJECT: WALNUT RIDGE ESTATES
COMPOSITE PLAN

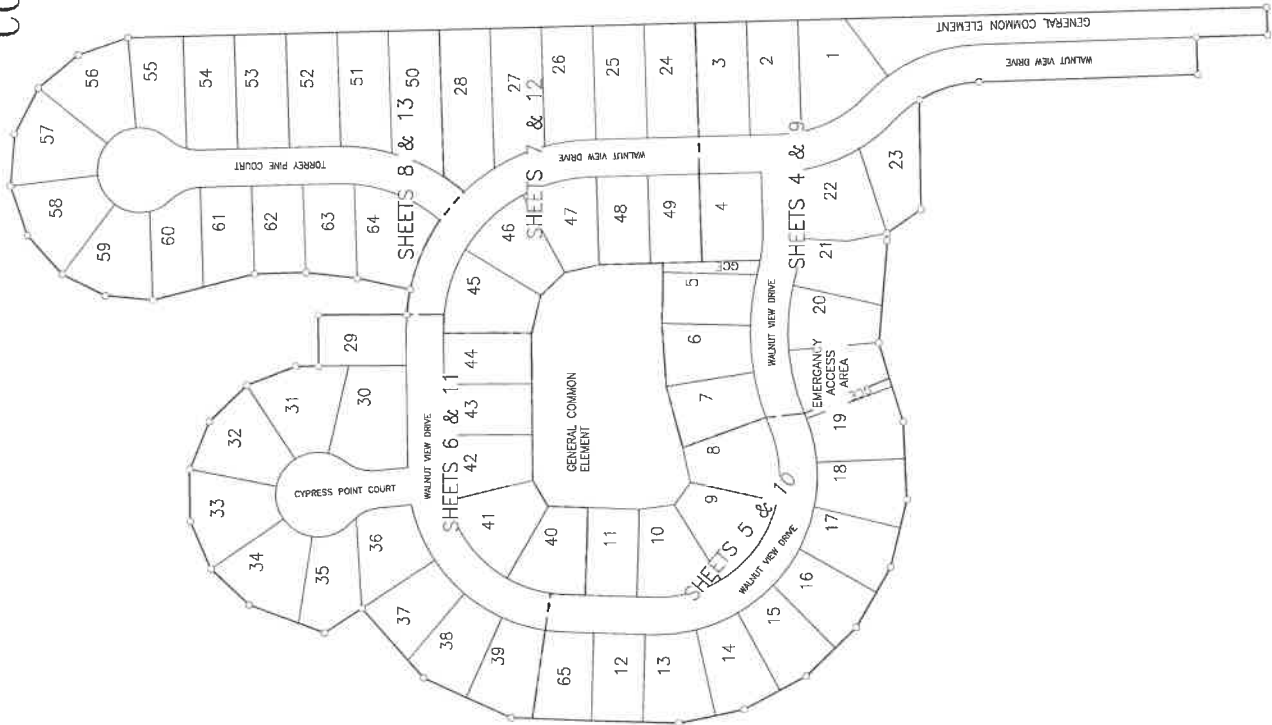
DESIGNED BY: TE
DRAWN BY: TE
CHECKED BY: TE
SCALE: 1" = 100'
JOB NO.: 15-078
DATE: 11/9/21
PLATTING INFORMATION



LEGEND
--- SHEET MATCH LINE
9 UNIT NUMBER

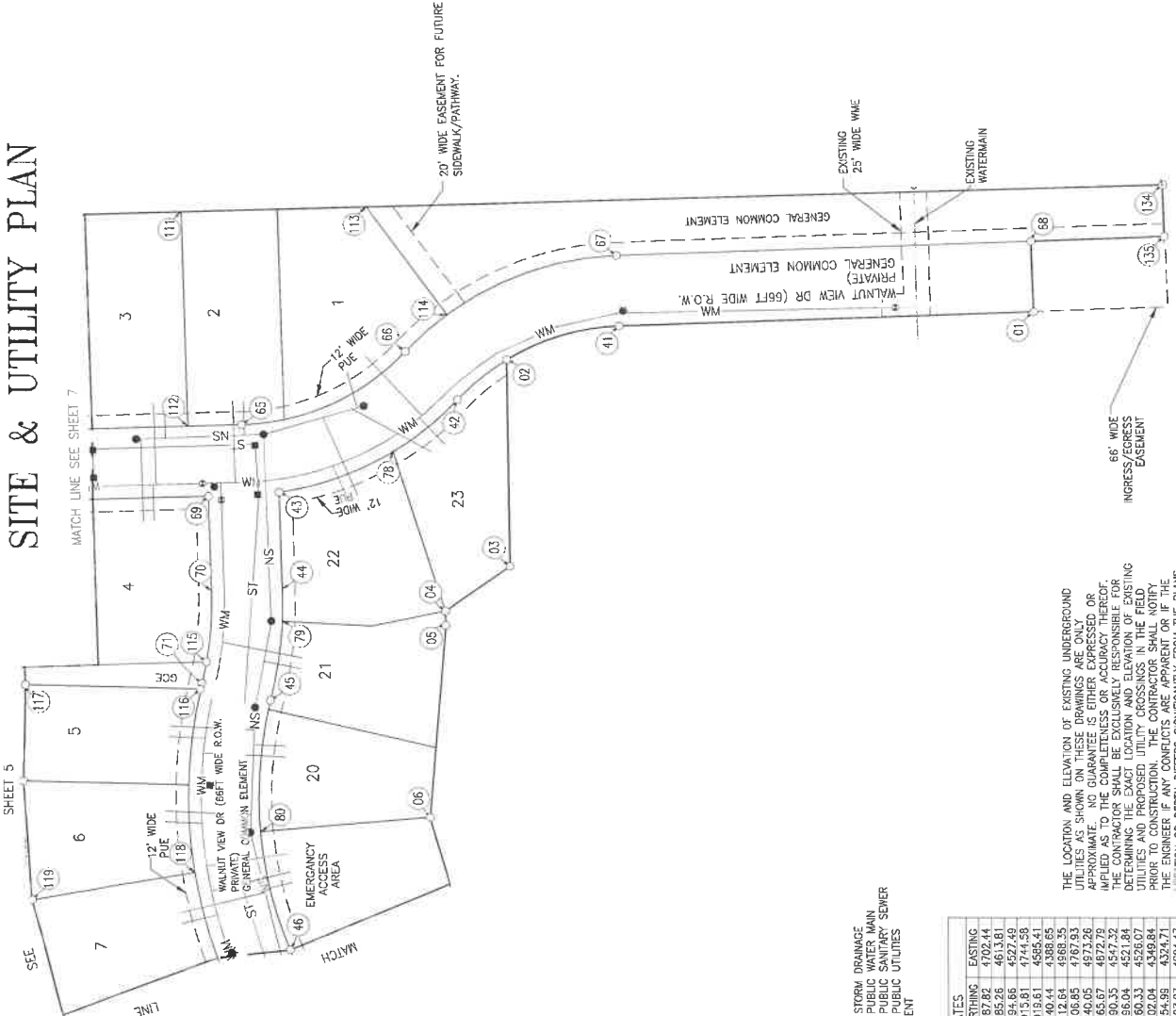
PROPOSED, DATED NOVEMBER 15, 2021
UNITS 1-23 MUST BE BUILT
UNITS 24-65 NEED NOT BE BUILT

SHEET NO. **3**



SITE & UTILITY PLAN

50' 0" 50' 100'
SCALE: 1 INCH = 50 FEET



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

NO.	NORTHING	EASTING	NO.	NORTHING	EASTING
1	5317.99	4875.78	69	6087.82	4702.44
2	5610.03	4830.75	70	6085.26	4613.81
3	5867.85	4587.47	71	6094.66	4527.49
4	5867.85	4395.39	78	5915.81	4744.59
5	5867.85	4251.95	86	6094.66	4386.61
6	5867.85	4062.20	111	6112.64	4368.35
42	5856.01	4793.31	112	6106.85	4767.93
43	6071.90	4706.29	113	5946.05	4674.26
44	6019.28	4515.72	114	5865.07	4672.79
45	6030.85	4511.42	115	6090.35	4517.82
46	6030.85	4351.92	116	6090.35	4351.92
65	6058.74	4769.35	117	6260.33	4526.07
66	5904.29	4838.32	118	6102.04	4346.84
67	5707.21	4928.16	119	6254.99	4324.71
68	5320.40	4941.73	134	5197.07	4894.47
			135	5195.46	4846.12

LEGEND:
 SDE PRIVATE EASEMENT FOR STORM DRAINAGE
 SEE PRIVATE EASEMENT FOR PUBLIC WATER MAIN
 SSI PRIVATE EASEMENT FOR PUBLIC SANITARY SEWER
 PUE PRIVATE EASEMENT FOR PUBLIC UTILITIES
 GCE GENERAL COMMON ELEMENT

NO.	NORTHING	EASTING	NO.	NORTHING	EASTING
1	5317.99	4875.78	69	6087.82	4702.44
2	5610.03	4830.75	70	6085.26	4613.81
3	5867.85	4587.47	71	6094.66	4527.49
4	5867.85	4395.39	78	5915.81	4744.59
5	5867.85	4251.95	86	6094.66	4386.61
6	5867.85	4062.20	111	6112.64	4368.35
42	5856.01	4793.31	112	6106.85	4767.93
43	6071.90	4706.29	113	5946.05	4674.26
44	6019.28	4515.72	114	5865.07	4672.79
45	6030.85	4511.42	115	6090.35	4517.82
46	6030.85	4351.92	116	6090.35	4351.92
65	6058.74	4769.35	117	6260.33	4526.07
66	5904.29	4838.32	118	6102.04	4346.84
67	5707.21	4928.16	119	6254.99	4324.71
68	5320.40	4941.73	134	5197.07	4894.47
			135	5195.46	4846.12

BOSS Engineering
 Engineers, Surveyors, Planners, Landscapers, Architects
 3121 E. GRAND RIVER AVE.
 HOWELL, MI, 48843
 800.246.6735 FAX 517.548.1670

- UTILITY NOTES:**
- ALL PROPOSED SANITARY IS 8" SDR-26 PVC PIPE UNLESS OTHERWISE NOTED. ALL SANITARY LEADS SHALL BE 6" SDR-23.5 PVC PIPE, UNLESS OTHERWISE NOTED.
 - ALL STORM SEWER WILL BE MINIMUM 12" C-76, CLASS IV REINFORCED CONCRETE PIPE WITH WATER-TIGHT PREMIUM JOINTS, UNLESS OTHERWISE NOTED.
 - ALL WATER MAIN SHALL BE 8" CLASS 52 D.I.P. OR 12" D.I.P., AS SHOWN. BOSS ENGINEERING CONSTRUCTION PLANS 11-6-15. ALL WATER SERVICE LEADS SHALL BE 1" TYPE "K", UNLESS OTHERWISE NOTED.
 - ALL UTILITY LOCATIONS WERE TAKEN FROM BOSS ENGINEERING CONSTRUCTION PLANS 11-9-15.
 - GAS- CONSUMERS ENERGY COMPANY. ELECTRIC- DETROIT EDISON COMPANY. TELEPHONE- AIRT CABLE- COMCAST
 - THE BUILDING AND UTILITY INFORMATION CONTAINED IN THESE DOCUMENTS ARE NOT DESIGN PLANS. TO OBTAIN A COPY OF THE ACTUAL DESIGN PLANS CONTACT THE APPROPRIATE LOCAL, COUNTY, OR STATE OFFICIALS.

- NOTES:**
- ALL INTERIOR ROADWAYS AND STORM SEWER ARE PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION

- LEGEND:**
- MATCH LINE
 - UNIT NUMBER
 - 9
 - WM - WATERMAIN W/ HYDRANT AND GATE VALVE
 - SN - SANITARY SEWER W/ MANHOLE
 - ST - STORM SEWER W/ OUTLET CONTROL STRUCTURE, CATCH BASIN, MANHOLE, & FLARED END SECTION
 - - CONCRETE MONUMENT
 - ③ - COORDINATE NUMBER

CLIENT: WALNUT RIDGE ESTATES, LLC
 PROJECT: WALNUT RIDGE ESTATES, SITE & UTILITY PLAN

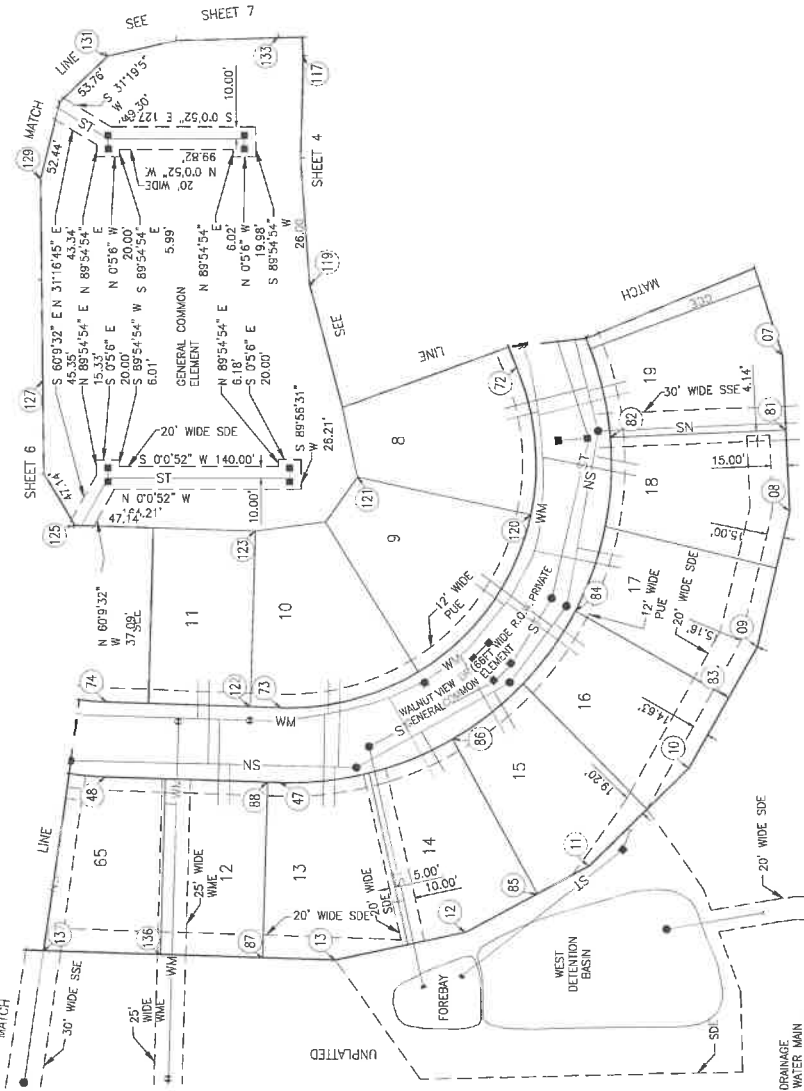


DESIGNED BY:	TE
CHECKED BY:	TE
SCALE:	1"=50'
DRAWING NO.:	15-078
DATE:	11/9/21
DATE:	11/9/21
DATE:	11/9/21
DATE:	11/9/21

PROPOSED, DATED NOVEMBER 15, 2021
 UNITS 1-33 MUST BE BUILT
 UNITS 24-56 NEED NOT BE BUILT

SITE & UTILITY PLAN

SCALE: 1 INCH = 50 FEET



- LEGEND:**
- SIDE PRIVATE EASEMENT FOR STORM DRAINAGE
 - SSE PRIVATE EASEMENT FOR PUBLIC WATER MAIN
 - PUE PRIVATE EASEMENT FOR PUBLIC SANITARY SEWER
 - CCE GENERAL COMMON ELEMENT

LIST OF COORDINATES					
NO.	NORTHING	EASTING	NO.	NORTHING	EASTING
7	5640.04	4282.96	85	6057.60	3787.92
8	5634.25	4125.39	86	6131.15	3924.34
9	5663.23	4005.65	87	6296.71	3721.16
10	5624.12	3888.56	88	6283.77	3985.99
11	5624.12	3888.56	89	6283.77	3985.99
12	6170.62	3753.93	119	6264.98	4324.71
13	6234.62	3729.01	120	6062.28	4122.18
14	6013.12	4277.54	121	6213.70	4155.27
15	6013.12	4277.54	122	6036.47	3952.48
16	6436.76	3950.54	23	6306.53	4107.40
17	6274.03	3957.41	24	6282.83	4536.82
18	6436.76	3950.54	25	6282.83	4536.82
19	6436.76	3950.54	26	6490.15	4238.84
20	5927.12	4190.40	33	6282.83	4536.82
21	5927.12	4190.40	34	6282.83	4536.82
22	5927.12	4190.40	35	6282.83	4536.82
23	5927.12	4190.40	36	6282.83	4536.82
24	6023.67	4037.61	37	6492.05	3737.22

THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

BOSS Engineering
 2121 E. GRAND RIVER AVE.
 HOWELL, MI 48843
 800.266.6735 FAX 517.548.1670

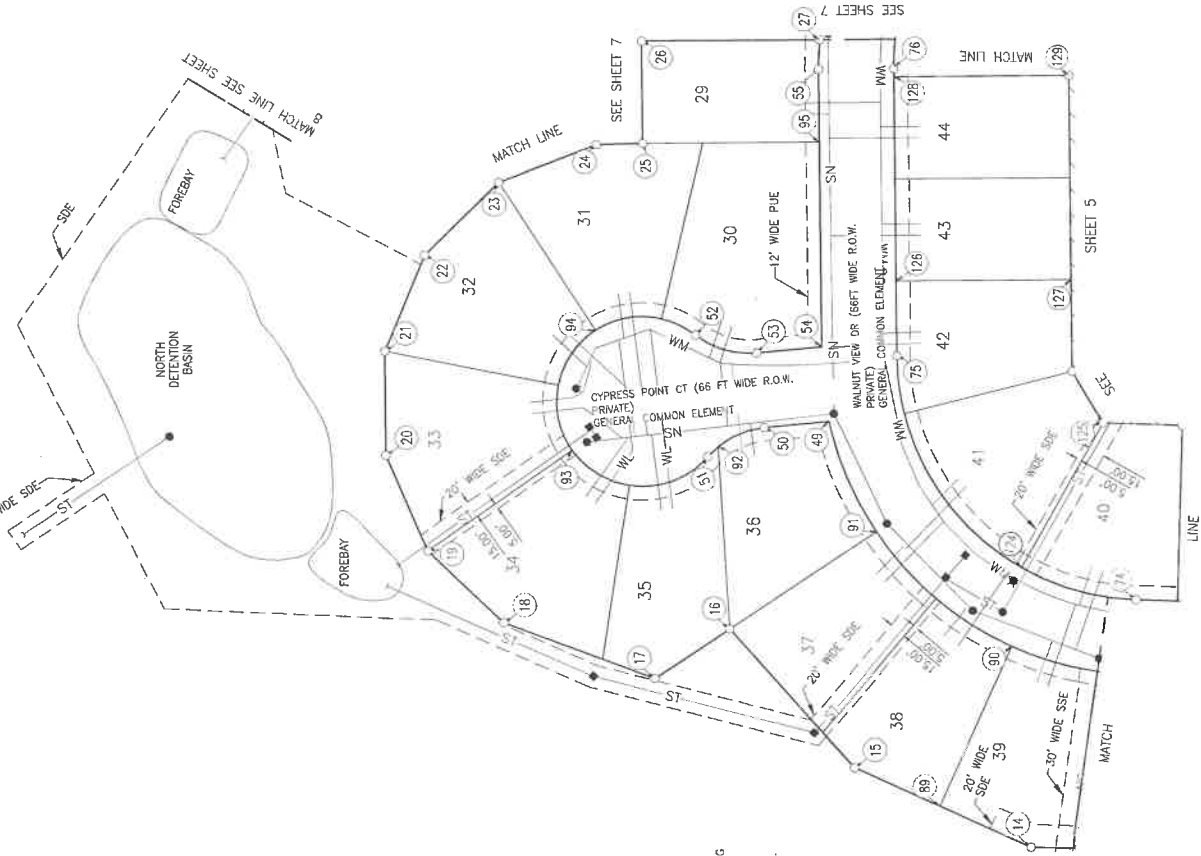
WALNUT RIDGE ESTATES, LLC.
 WALNUT RIDGE ESTATES
 SITE & UTILITY PLAN

CLIENT PROJECT
 DRAWN BY: [Signature]
 DESIGNED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: 11/29/21
 JOB NO.: 15-078
 SCALE: 1"=50'
 SHEET NO.: 5

- UTILITY NOTES:**
- ALL PROPOSED SANITARY IS 8" SDP-26 PVC PIPE UNLESS OTHERWISE NOTED. ALL WATER MAINS SHALL BE 6" SDP-26 PVC PIPE, UNLESS OTHERWISE NOTED.
 - ALL STORM SEWER WILL BE MINIMUM 12" C-76, CLASS IV REINFORCED CONCRETE PIPE WITH WATERTIGHT PREMIUM JOINTS, UNLESS OTHERWISE NOTED.
 - ALL WATER MAIN SHALL BE 8" CLASS 52 D.I.P. OR 12" D.I.P., AS SHOWN. BOSS ENGINEERING CONSTRUCTION PLANS 11-6-15. ALL WATER SERVICE LEADS SHALL BE 1" TYPE "K", UNLESS OTHERWISE NOTED.
 - ALL UTILITY LOCATIONS WERE TAKEN FROM BOSS ENGINEERING CONSTRUCTION PLANS 11-6-15.
 - GAS - CONSUMERS ENERGY COMPANY, ELECTRIC - DETROIT EDISON COMPANY, TELEPHONE - AT&T CABLE - COMCAST
 - THE BUILDING AND UTILITY INFORMATION CONTAINED IN THESE DOCUMENTS ARE NOT DESIGN PLANS. TO OBTAIN A COPY OF THE ACTUAL DESIGN PLANS CONTACT THE APPROPRIATE LOCAL, COUNTY, OR STATE OFFICIALS.

- NOTES:**
- ALL INTERIOR ROADWAYS AND STORM SEWER ARE PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION
- LEGEND:**
- MATCH LINE
 - UNIT NUMBER
 - WATERMAIN W/ HYDRANT AND GATE VALVE
 - SANITARY SEWER W/ MANHOLE
 - STORM SEWER W/ OUTLET CONTROL STRUCTURE, CATCH BASIN, MANHOLE, & FLARED END SECTION
 - CONCRETE MONUMENT
 - COORDINATE NUMBER
- REVISIONS:
 3
- REVISIONS DATED NOVEMBER 15, 2021
 UNITS 1-23 MUST BE BUILT
 UNITS 24-65 NEED NOT BE BUILT

SITE & UTILITY PLAN



THE LOCATION AND ELEVATION OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE DRAWINGS ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION OF EXISTING UTILITIES AND PROPOSED UTILITY CROSSINGS IN THE FIELD PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY CONFLICTS ARE APPARENT OR IF THE LOCATION OR DEPTH DIFFERS SIGNIFICANTLY FROM THE PLANS.

LEGEND:
 SIE PRIVATE EASEMENT FOR STORM DRAINAGE
 SSM PRIVATE EASEMENT FOR STORM SEWER
 SSE PRIVATE EASEMENT FOR PUBLIC SANITARY SEWER
 PUE PRIVATE EASEMENT FOR PUBLIC UTILITIES

NO.	NORTHING	EASTING	NO. OF POINTS	EXISTING ELEVATION
14	6884.03	3008.71	55	6712.33
15	6884.03	3008.71	55	6712.33
16	6752.72	3931.26	74	6434.85
17	6858.58	3887.58	75	6544.73
18	6950.41	3936.68	76	6646.33
19	7058.98	4000.16	89	6906.71
20	7094.10	4176.30	91	6843.95
21	7058.72	4261.06	92	6802.14
22	6992.99	4325.22	93	6929.81
23	6907.40	4358.54	94	6939.05
24	6866.92	4359.51	95	6711.93
25	6866.92	4359.51	95	6711.93
26	6807.45	4462.50	125	6462.88
27	6704.47	4114.17	126	6545.15
28	6761.69	4108.78	127	6490.15
29	6811.54	4082.89	128	6545.23
30	6821.67	4190.51	129	6491.29
31	6767.86	4174.49		

- UTILITY NOTES:
1. ALL PROPOSED SANITARY IS 8" SDR-26 PVC PIPE UNLESS OTHERWISE NOTED. ALL SANITARY LEADS SHALL BE 8" SDR-23.8 PVC PIPE, UNLESS OTHERWISE NOTED.
 2. ALL STORM SEWER WILL BE MINIMUM 12" C-76, CLASS IV REINFORCED CONCRETE PIPE WITH WATER-TIGHT PREMIUM JOINTS, UNLESS OTHERWISE NOTED.
 3. ALL WATER MAIN SHALL BE 8" CLASS 52 D.I.P. OR 12" D.I.P., AS SHOWN BOSS ENGINEERING CONSTRUCTION PLANS 11-8-15. ALL WATER SERVICE LEADS SHALL BE 1" TYPE "K", UNLESS OTHERWISE NOTED.
 4. ALL UTILITY LOCATIONS WERE TAKEN FROM BOSS ENGINEERING CONSTRUCTION PLANS 11-8-15.
 5. GAS- CONSUMERS ENERGY COMPANY. ELECTRIC- DETROIT EDISON COMPANY. TELEPHONE- AT&T CABLE- COMCAST
 6. THE BUILDING AND UTILITY INFORMATION CONTAINED IN THESE DOCUMENTS ARE NOT DESIGN PLANS. TO OBTAIN A COPY OF THE ACTUAL DESIGN PLANS CONTACT THE APPROPRIATE LOCAL COUNTY, OR STATE OFFICIALS.

NOTES:
 1. ALL INTERIOR ROADWAYS AND STORM SEWER ARE PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION

LEGEND

--- MATCH LINE

9 UNIT NUMBER

WM --- SANITARY SEWER W/ MANHOLE

SS --- STORM SEWER W/ OUTLET CONTROL STRUCTURE, CATCH BASIN, MANHOLE, & FLARED END SECTION

○ CONCRETE MONUMENT

③ COORDINATE NUMBER

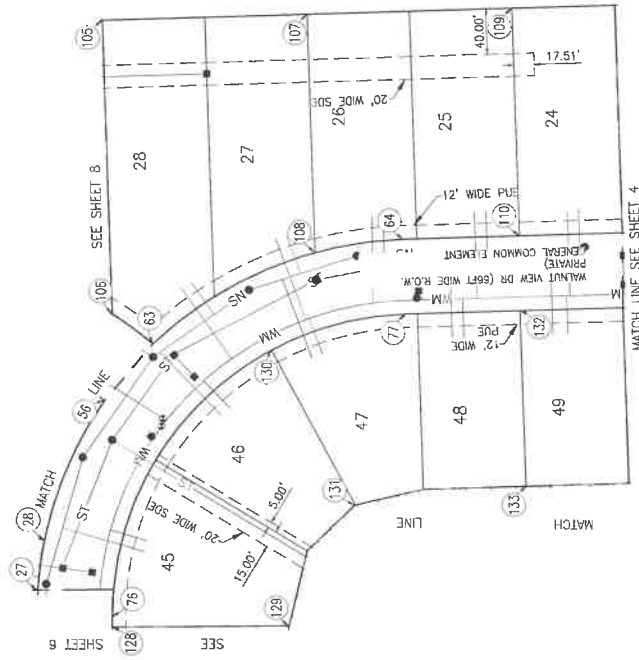
PROPOSED, DATED NOVEMBER 15, 2021
 UNITS 1-23 MUST BE BUILT
 UNITS 24-65 NEED NOT BE BUILT

BOSS Engineering
 Engineers Surveyors Planners Landscape Architects
 13121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 800.246.6735 FAX 517.548.1670

WALNUT RIDGE ESTATES, LLC.
 WALNUT RIDGE ESTATES,
 SITE & UTILITY PLAN

CLIENT: WALNUT RIDGE ESTATES, LLC.
 PROJECT: WALNUT RIDGE ESTATES, SITE & UTILITY PLAN
 DESIGNED BY: TE
 DRAWN BY: TE
 CHECKED BY: TE
 DATE: 11/09/21
 JOB NO. 15-078
 SHEET NO. 9 OF 9
 9

SITE & UTILITY PLAN



LEGEND:

- SDR PRIVATE EASEMENT FOR STORM DRAINAGE
- WM WATER MAIN
- SS PRIVATE EASEMENT FOR PUBLIC SANITARY SEWER
- ST PRIVATE EASEMENT FOR PUBLIC UTILITIES

LIST OF COORDINATES	
NO.	EASTING
27	4675.35
28	4684.78
56	6652.31
63	6609.33
64	6308.96
76	6446.33
77	6387.05
106	6644.94
107	6472.50
108	6465.43
109	6922.57
110	6926.77
128	6608.38
130	6505.37
131	6432.21
132	6266.56
133	6952.08

- UTILITY NOTES:**
- ALL PROPOSED SANITARY IS 8" SDR-26 PVC PIPE UNLESS OTHERWISE NOTED. ALL WATER MAINS SHALL BE 8" SDR-25.9 PVC PIPE, UNLESS OTHERWISE NOTED.
 - ALL STORM SEWER WILL BE MINIMUM 12" C-76, CLASS IV REINFORCED CONCRETE PIPE WITH WATER-TIGHT PREMIUM JOINTS, UNLESS OTHERWISE NOTED.
 - ALL WATER MAINS SHALL BE 8" CLASS 52 D.I.P. OR 12" D.I.P. AS SHOWN. BOSS ENGINEERING CONSTRUCTION PLANS 11-6-15. ALL WATER SERVICE LEADS SHALL BE 1" TYPE "K", UNLESS OTHERWISE NOTED.
 - ALL UTILITY LOCATIONS WERE TAKEN FROM BOSS ENGINEERING CONSTRUCTION PLANS 11-6-15.
 - GAS- CONSUMERS ENERGY COMPANY. TELEPHONE- AT&T CABLE- COMCAST
 - THE BUILDING AND UTILITY INFORMATION CONTAINED IN THESE DOCUMENTS ARE NOT DESIGN PLANS. TO OBTAIN A COPY OF THE ACTUAL DESIGN PLANS CONTACT THE APPROPRIATE LOCAL, COUNTY, OR STATE OFFICIALS.

NOTES:
1. ALL INTERIOR ROADWAYS AND STORM SEWER ARE PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION.

LEGEND

- MATCH LINE
- UNIT NUMBER
- 9
- WM WATER MAIN W/ HYDRANT AND GATE VALVE
- SS SANITARY SEWER W/ MANHOLE
- ST STORM SEWER W/ OUTLET CONTROL STRUCTURE, CATCH BASIN, MANHOLE, & FLARED END SECTION
- CONCRETE MONUMENT
- 3

PROPOSED, DATED NOVEMBER 15, 2021
UNITS 1-23 MUST BE BUILT
UNITS 24-65 NEED NOT BE BUILT

BOSS Engineering
Engineers Surveyors Planners Landscape Architects
3121 E. GRAND RIVER AVE.
HOWELL, MI, 48843
800.246.6735 FAX 517.548.1670

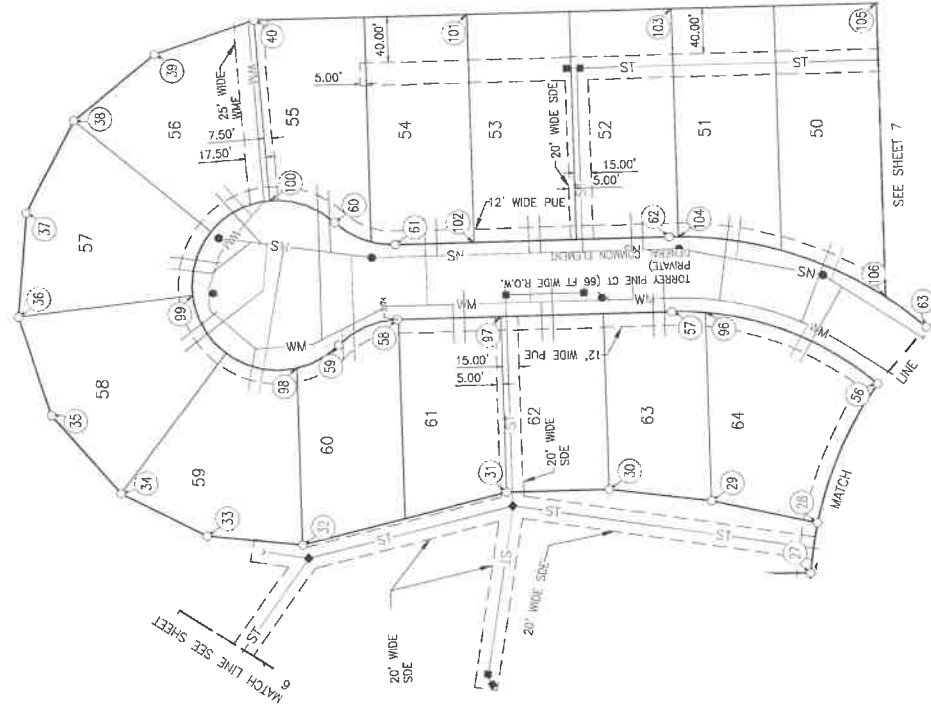
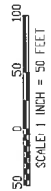
CLIENT
WALNUT RIDGE ESTATES, LLC.
SITE & UTILITY PLAN



DESIGNED BY: TE
DRAWN BY: TE
CHECKED BY: TE
DATE: 11/20/21
JOB NO.: 15-078
SCALE: 1"=50'
PLANNING INFORMATION

SHEET NO. 1

SITE & UTILITY PLAN



- UTILITY NOTES:**
1. ALL PROPOSED SANITARY IS 8" SDP-26 PVC PIPE UNLESS OTHERWISE NOTED. ALL OTHERS SHALL BE 6" SDP-26.59 PVC PIPE, UNLESS OTHERWISE NOTED.
 2. ALL STORM SEWER WILL BE MINIMUM 12" C-76, CLASS IV REINFORCED CONCRETE PIPE WITH WATER TIGHT PREMIUM JOINTS, UNLESS OTHERWISE NOTED.
 3. ALL WATER MAIN SHALL BE 8" CLASS 50 D.I.P. OR 12" D.I.P. AS SHOWN BOSS ENGINEERING CONSTRUCTION PLANS 11-8-15. ALL WATER SERVICE LEADS SHALL BE "K" TYPE "K", UNLESS OTHERWISE NOTED.
 4. ALL UTILITY LOCATIONS WERE TAKEN FROM BOSS ENGINEERING CONSTRUCTION PLANS 11-8-15.
 5. GAS- CONSUMERS ENERGY COMPANY, TELEPHONE- AT&T, CABLE- COMCAST
 6. THESE DOCUMENTS ARE NOT DESIGN PLANS TO OBTAIN A COPY OF THE ACTUAL DESIGN PLANS CONTACT THE APPROPRIATE LOCAL, COUNTY, OR STATE OFFICIALS.

NOTES:

1. ALL INTERIOR ROADWAYS AND STORM SEWER ARE PRIVATE AND SHALL BE MAINTAINED BY THE CONDOMINIUM ASSOCIATION

LEGEND

MATCH LINE
 9
 UNIT NUMBER

WATERMAIN W/ HYDRANT AND GATE VALVE
 SANITARY SEWER W/ MANHOLE
 STORM SEWER W/ OUTLET CONTROL STRUCTURE, CATCH BASIN, MANHOLE, & FLARED END SECTION
 CONCRETE MONUMENT
 COORDINATE NUMBER

PROPOSED, DATED NOVEMBER 15, 2021
 UNITS 1-23 MUST BE BUILT
 UNITS 24-65 NEED NOT BE BUILT

LEGEND:

S/S PRIVATE EASEMENT FOR STORM DRAINAGE
 S/S PRIVATE EASEMENT FOR SANITARY SEWER
 P/E PRIVATE EASEMENT FOR PUBLIC SANITARY SEWER
 P/E PRIVATE EASEMENT FOR PUBLIC UTILITIES

LIST OF COORDINATES

NO.	NORTHING	EASTING	NO.	NORTHING	EASTING
26	6798.28	4514.14	62	6669.33	4657.74
27	6798.28	4514.14	63	6669.33	4657.74
28	6798.28	4514.14	64	6669.33	4657.74
29	6798.28	4514.14	65	6669.33	4657.74
30	6888.61	4524.25	96	6803.08	4850.14
31	6878.57	4521.65	97	6883.05	4876.59
32	7157.30	4474.96	98	7161.80	4830.93
33	7241.38	4482.57	99	7253.40	4854.76
34	7378.06	4588.91	100	7455.38	4943.56
35	7407.24	4675.79	101	7606.27	4741.93
36	7400.05	4767.36	102	7832.35	4947.87
37	7357.60	4848.81	103	8026.55	4747.13
38	7286.67	4907.16	104	8652.42	4952.99
39	7196.93	4937.44	105	8827.44	4765.83
40	7196.93	4937.44	106	8644.94	4694.15
41	7196.93	4937.44	107	8644.94	4694.15
42	7196.93	4937.44	108	8644.94	4694.15
43	7196.93	4937.44	109	8644.94	4694.15
44	7196.93	4937.44	110	8644.94	4694.15
45	7033.96	4673.93			
46	7125.38	4651.46			
47	7128.50	4759.42			
48	7075.87	4739.93			

BOSS
 Engineering
 Engineers Surveyors Planners Landscape Architects

3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 800.246.6735 FAX 517.548.1670

WALNUT RIDGE ESTATES, LLC.
 WALNUT RIDGE ESTATES
 SITE & UTILITY PLAN

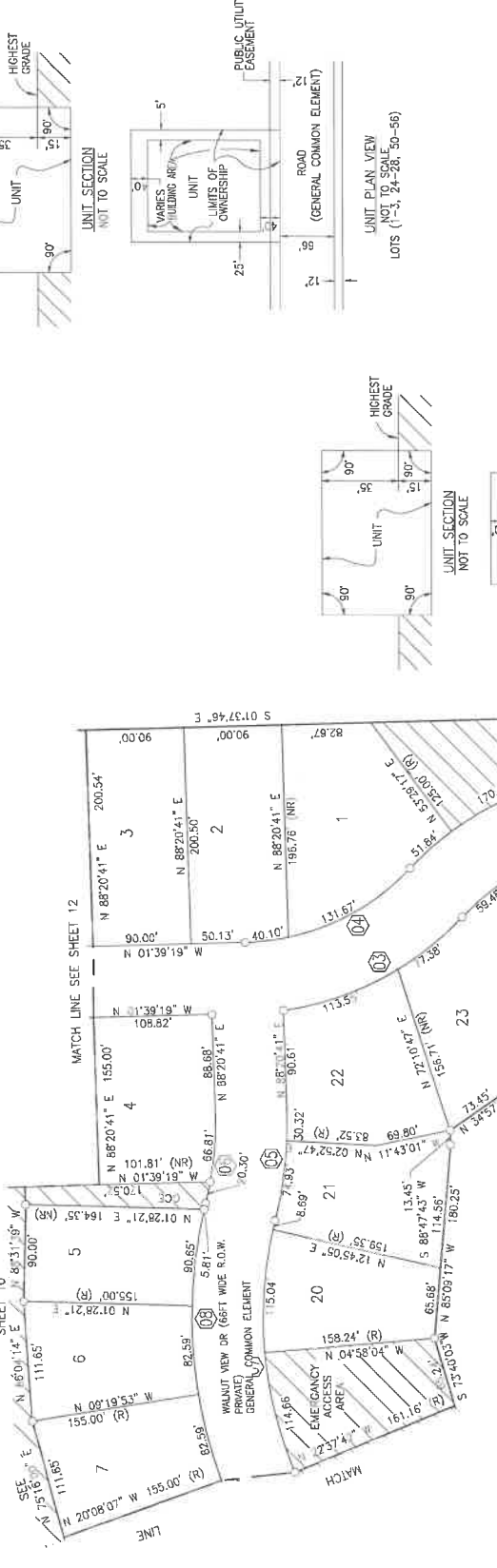
LAURENCE A. BOSS
 PROFESSIONAL ENGINEER
 LICENSE NO. 11053
 STATE OF MICHIGAN

DATE: 11/19/21
 JOB NO. 15-078
 SCALE: 1"=50'

PROJECT INFORMATION

SHEET NO. **8**

UNIT AREAS & PERIMETERS



CURVE	RADIUS	CENTRAL ANGLE	ARC LENGTH	CHORD LENGTH	BEARING DIRECTION
1	217.00	44°59'48"	170.42	166.07	N 24°30'30" W
2	283.00	44°59'48"	222.25	216.59	N 24°30'30" W
3	283.00	38°39'18"	190.83	187.33	N 27°40'45" W
4	217.00	45°21'05"	171.76	167.31	N 24°19'51" W
5	383.00	15°44'42"	105.25	104.92	N 83°46'58" W
6	317.00	15°44'42"	87.11	86.84	N 83°46'58" W
7	372.00	36°43'05"	238.40	234.34	S 85°43'50" W
8	436.00	36°43'05"	280.94	276.15	S 85°42'32" W

SCHEDULE OF UNIT AREAS	LOT NO.	AREA (SQ. FT.)
1	20925	
2	17984	
3	18047	
4	18228	
5	14279	
6	14871	
7	14871	
20	14481	
21	15489	
22	15776	
23	13770	

- LEGEND**
- MATCH LINE
 - GCE GENERAL COMMON ELEMENT
 - DENOTES CONCRETE MONUMENT
 - 4" DIAMETER x 36" LONG ENCASING
 - 1/2" IRON ROD
 - RADIAL
 - (R) NON RADIAL
 - (NR) NON RADIAL
 - 9 LOT NUMBER
 - 22 CURVE NUMBER
 - [Hatched Box] GENERAL COMMON ELEMENT
 - [Cross-hatched Box] CONVERTIBLE AREA



CLIENT	WALNUT RIDGE ESTATES, LLC.
PROJECT	WALNUT RIDGE ESTATES
TITLE	UNIT AREAS & PERIMETERS PLAN
DRAWN BY	TE
CHECKED BY	TE
SCALE	1" = 50'
JOB NO.	15-078
DATE	11/9/21
PLACING INFORMATION	
SHEET NO.	6

PROPOSED, DATED NOVEMBER 15, 2021
 UNITS 1-23 MUST BE BUILT
 UNITS 24-65 NEED NOT BE BUILT

UNIT PLAN VIEW
 NOT TO SCALE
 LOTS (22, 30, 31, 36)

UNIT PLAN VIEW
 NOT TO SCALE
 LOTS (4-21, 23, 29, 32-35, 37-49, 57-65)

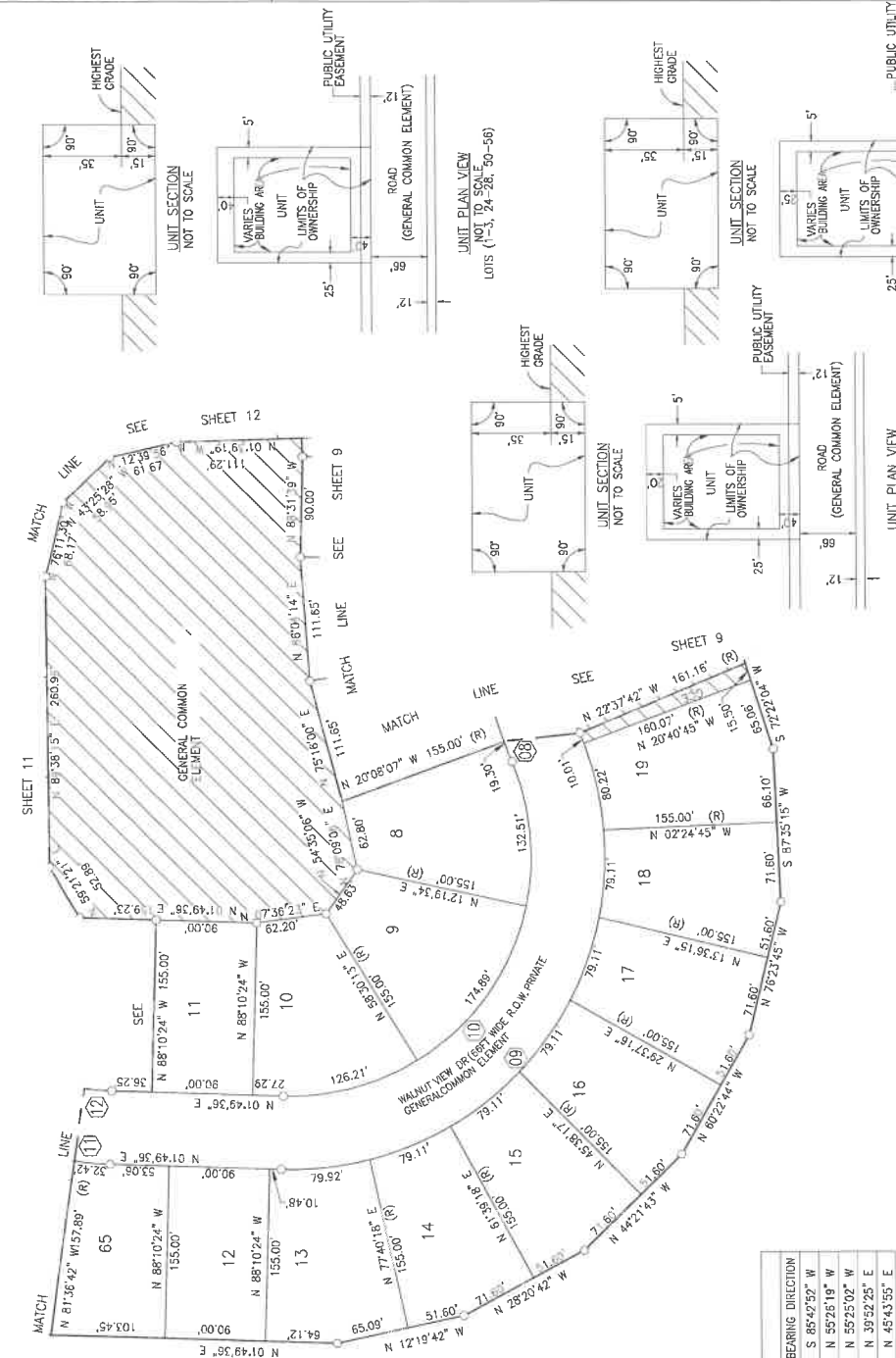
UNIT SECTION
 NOT TO SCALE

UNIT SECTION
 NOT TO SCALE
 LOTS (1-3, 24-28, 50-56)

UNIT SECTION
 NOT TO SCALE

UNIT SECTION
 NOT TO SCALE

UNIT AREAS & PERIMETERS



LOT NO.	AREA (SQ. FT.)
8	16931
9	17089
10	13950
11	13950
12	13950
13	17089
14	15774
15	15774
16	15774
17	15774
18	15774
19	16735

CURVE	RADIUS	CENTRAL ANGLE	ARC LENGTH	CHORD LENGTH	BEARING DIRECTION
B	438.00	36°45'03"	280.94	276.15	S 85°47'52" W
9	283.00	114°31'50"	565.70	476.10	N 55°25'19" W
10	217.00	114°29'16"	433.61	364.59	N 55°25'02" W
11	283.00	76°05'38"	376.85	348.83	N 39°52'25" E
12	217.00	84°48'39"	332.57	300.97	N 45°43'55" E

- LEGEND**
- MATCH LINE
 - GENERAL COMMON ELEMENT
 - GENERAL CONCRETE MONUMENT
 - 4" DIAMETER X 36" LONG ENCASED
 - 1/2" IRON ROD
 - RADIAL
 - (R) NON RADIAL
 - (NR)
 - 9 LOT NUMBER
 - 22 CURVE NUMBER
 - ▨ GENERAL COMMON ELEMENT
 - ▨ CONVERTIBLE AREA

ROSS Engineering
 Registered Surveyors & Professional Engineers
 3121 E. GRAND RIVER AVE.
 HOWELL, MI. 48843
 800.246.6735 FAX 517.548.1670

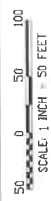
CLIENT	WALNUT RIDGE ESTATES, LLC.
PROJECT	WALNUT RIDGE ESTATES
TITLE	UNIT AREAS & PERIMETERS PLAN

DESIGNED BY: TE
 DRAWN BY: LE
 CHECKED BY:
 SCALE: 1"=50'
 JOB NO.: 15-078
 DATE: 11/9/21
 PLOTTING INFORMATION

SHEET NO. **10**

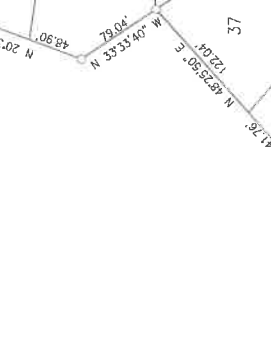
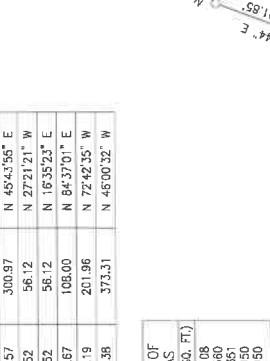
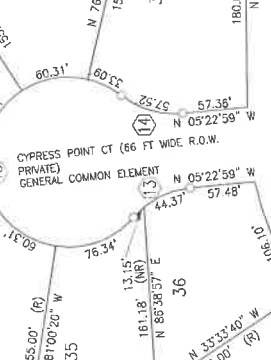
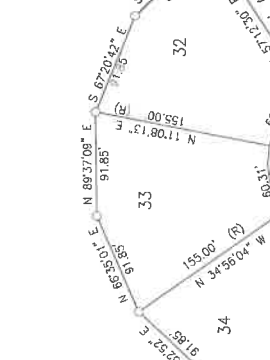
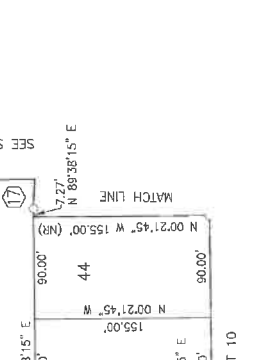
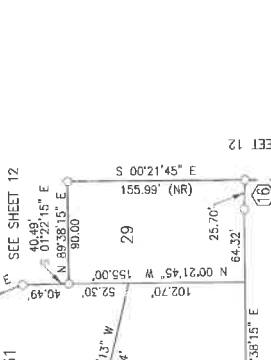
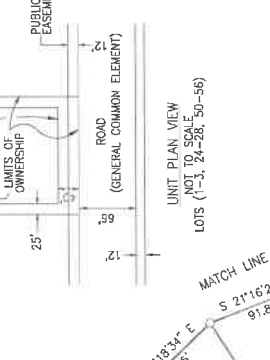
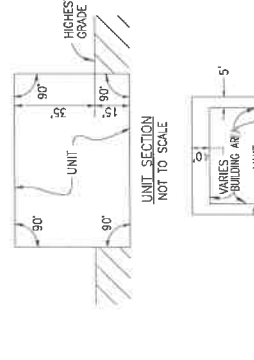
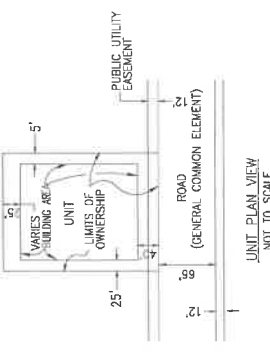
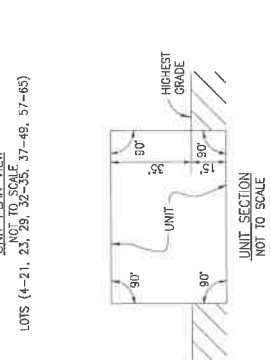
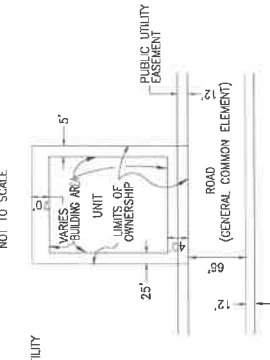
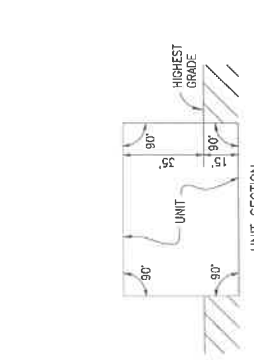
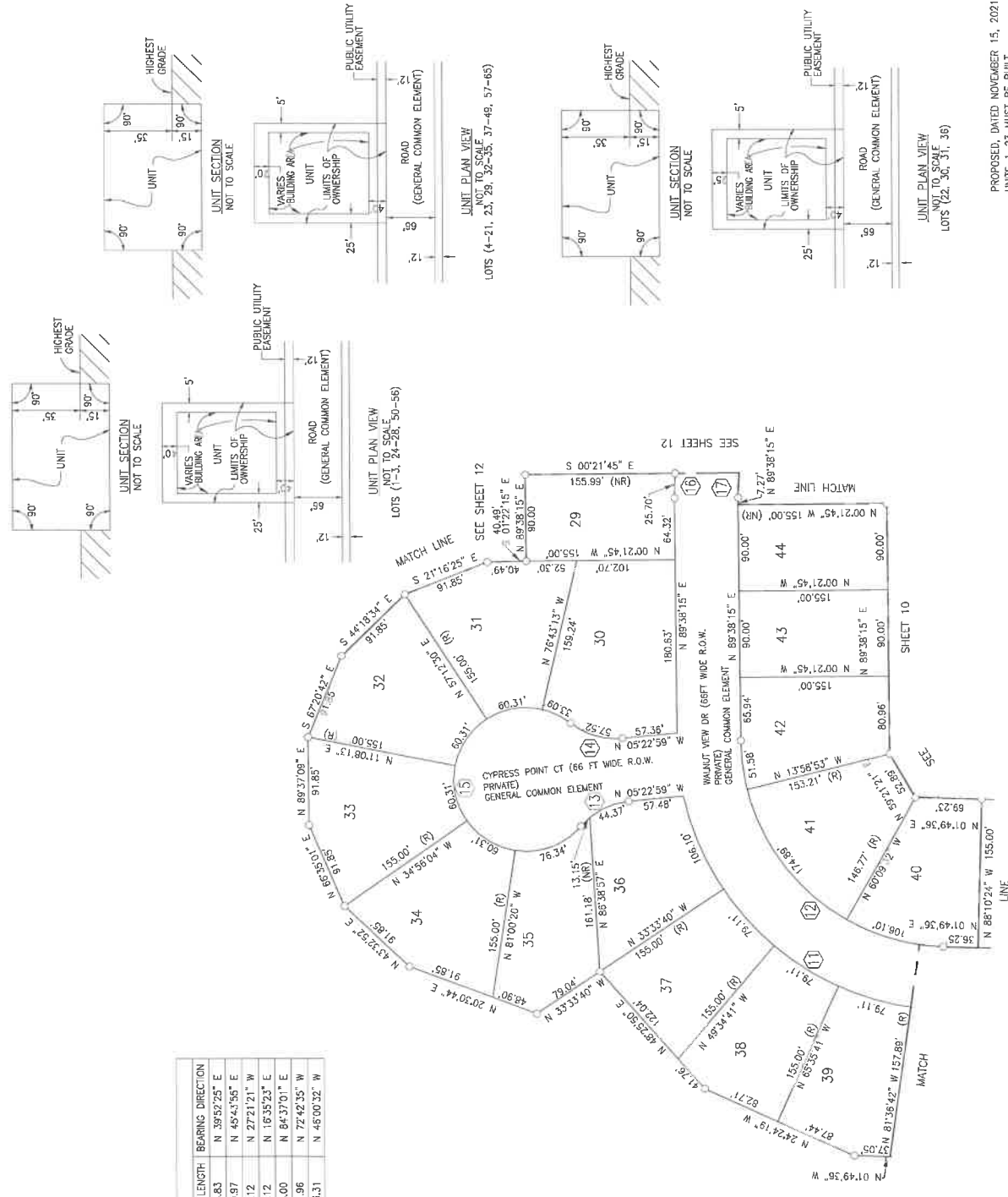
PROPOSED, DATED NOVEMBER 15, 2021
 UNITS 1-23 MUST BE BUILT
 UNITS 24-65 NEED NOT BE BUILT

UNIT AREAS & PERIMETERS



CURVE DATA			
CURVE	RADIUS	CENTRAL ANGLE	CHORD LENGTH
11	283.00	76°05'38"	348.83
12	217.00	87°46'39"	300.97
13	75.00	43°56'44"	56.12
14	75.00	43°56'44"	56.12
15	75.00	267°53'28"	350.67
16	333.00	35°16'15"	205.19
17	267.00	86°42'26"	413.38

SCHEDULE OF UNIT AREAS	
LOT NO.	AREA (SQ. FT.)
29	13958
30	22019
31	17380
32	18648
33	13950
34	18438
35	15566
36	18108
37	13976
38	16069



- LEGEND**
- DENOTES CONCRETE MONUMENT
 - (R) 4" DIAMETER X 36" LONG ENCASED
 - (NR) 1/2" IRON ROD
 - RADIAL
 - NON RADIAL
 - 9 LOT NUMBER
 - ② CURVE NUMBER
 - ▨ GENERAL COMMON ELEMENT
 - ▩ CONVERTIBLE AREA

PROPOSED, DATED NOVEMBER 15, 2021
 UNITS 1-23 MUST BE BUILT
 UNITS 24-65 NEED NOT BE BUILT



800.246.6735 FAX 517.548.1570
 HOWELL, MI 48843
 1321 E. GRAND RIVER AVE.

CLIENT: WALNUT RIDGE ESTATES, LLC.
 PROJECT: WALNUT RIDGE ESTATES
 TITLE: UNIT AREAS & PERIMETERS PLAN

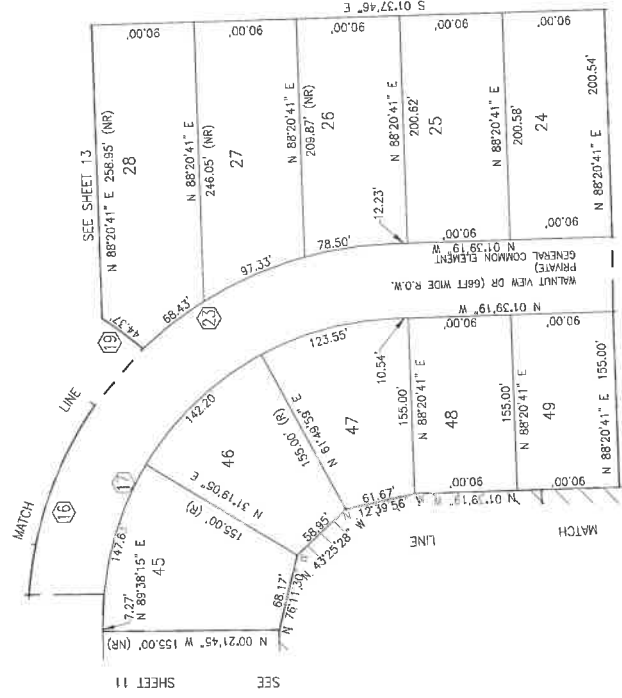


DESIGNED BY: TE
 DRAWN BY: TE
 CHECKED BY: TE
 SCALE: 1"=50'
 JOB NO.: 15-078
 DATE: 11/09/21
 PLATING INFORMATION

SHEET NO. 11

UNIT AREAS & PERIMETERS

50 0 50 100
SCALE: 1 INCH = 50 FEET

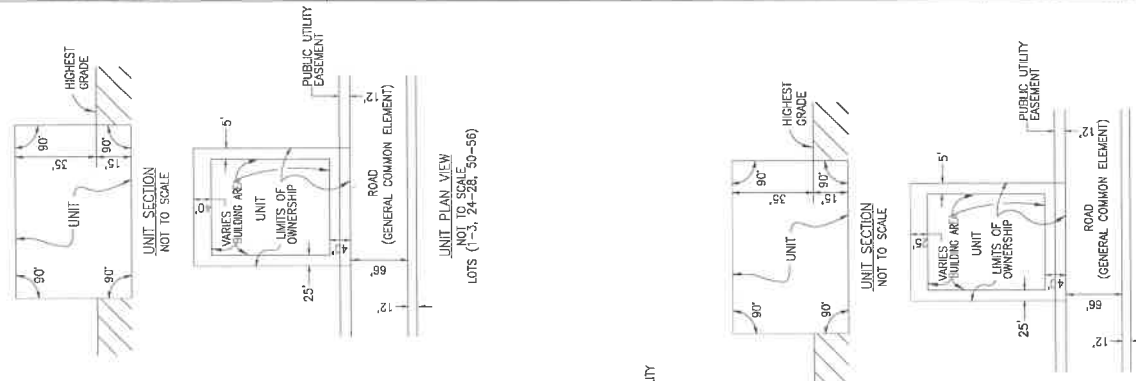


LOT NO.	AREA (SQ. FT.)
24	18050
25	18054
26	18235
27	20287
28	24081
45	15799
46	15799
47	15389
48	13850
49	13850

- LEGEND**
- MATCH LINE
 - DENOTES CONCRETE MONUMENT
 - (R) 4" DIAMETER X 36" LONG ENCASED
 - (NR) 1/2" IRON ROD
 - RADIAL
 - (NR) NON RADIAL
 - 9 LOT NUMBER
 - 22 CURVE NUMBER
 - ▨ GENERAL COMMON ELEMENT
 - ▩ CONVERTIBLE AREA

CURVE	RADIUS	CENTRAL ANGLE	ARC LENGTH	CHORD LENGTH	BEARING	DIRECTION
16	333.00	35°18'15"	205.19	201.96	N 72°42'35"	W
17	267.00	88°42'26"	413.36	373.31	N 45°00'32"	W
19	333.00	42°01'37"	244.26	238.82	N 19°21'30"	E
23	333.00	42°01'36"	244.26	238.82	N 22°40'07"	W

MATCH LINE SEE SHEET 9



UNIT PLAN VIEW
NOT TO SCALE
LOTS (22, 30, 31, 36)

PROPOSED, DATED NOVEMBER 15, 2021
UNITS 1-23 MUST BE BUILT
UNITS 24-65 NEED NOT BE BUILT



CLIENT: WAINUT RIDGE ESTATES, LLC.
PROJECT: WAINUT RIDGE ESTATES
TITLE: UNIT AREAS & PERIMETERS PLAN

DESIGNED BY: TE
DRAWN BY: TE
CHECKED BY: TE
SCALE: 1"=50'
JOB NO.: 15-078
JOB DATE: 11/9/21
PROJECT INFORMATION



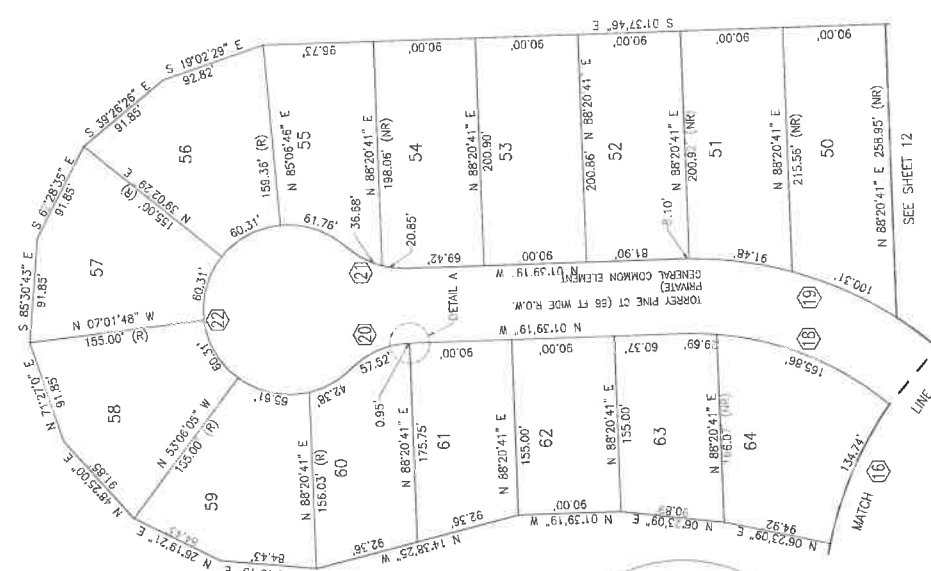
SHEET NO. 12

UNIT AREAS & PERIMETERS

SCALE: 1 INCH = 50 FEET



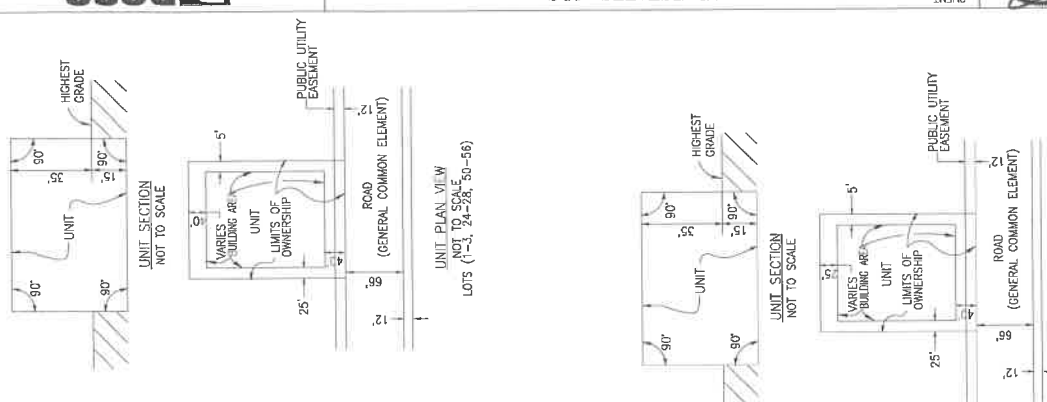
LOT NO.	AREA (SQ. FT.)
50	21,102
51	18,551
52	18,076
53	18,004
54	18,004
55	18,004
56	18,004
57	18,004
58	18,004
59	18,004
60	18,004
61	18,004
62	18,004
63	18,004
64	18,004



LEGEND

- DETAIL A
- (R) RADIAL
- (NR) NON RADIAL
- 9 LOT NUMBER
- 22 CURVE NUMBER
- General Common Element
- Convertible Area

CURVE	RADIUS	CENTRAL ANGLE	ARC LENGTH	CHORD LENGTH	BEARING DIRECTION
16	333.00	35°18'15"	205.19	201.96	N 72°42'35" W
18	267.00	41°57'47"	195.55	191.21	N 19°19'34" E
19	333.00	42°01'37"	244.26	238.62	N 19°21'30" E
20	75.00	43°55'44"	56.12	56.12	N 23°37'41" W
21	75.00	43°55'44"	57.52	56.12	N 20°19'03" E
22	75.00	267°52'28"	350.67	108.00	N 88°20'41" E



BOSS Engineering
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 HOWELL, MI. 48843
 800.246.6735 FAX 517.548.1570

CLIENT: WALNUT RIDGE ESTATES, LLC.
 PROJECT: WALNUT RIDGE ESTATES
 TITLE: UNIT AREAS & PERIMETERS PLAN

DESIGNED BY: [Signature]
 CHECKED BY: [Signature]
 SCALE: 1"=50'
 JOB NO.: 15-078
 DATE: 11/9/21
 SHEET NO.: 13

PROPOSED, DATED NOVEMBER 15, 2021
 UNITS 1-23 MUST BE BUILT
 UNITS 24-65 NEED NOT BE BUILT