

PLANNING COMMISSION

HARTLAND TOWNSHIP
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Chairperson
Larry Fox

Vice-Chairperson
Jeff Newsom

Secretary
Keith Voight

Joseph Colaianne
Sue Grissim
Michael Mitchell
Tom Murphy

**PLANNING COMMISSION AGENDA
THURSDAY, FEBRUARY 14, 2019
7:00 PM**

1. Call to Order
2. Pledge of Allegiance
3. Roll Call
4. Approval of Meeting Agenda
5. Approval of Meeting Minutes
 - a. Planning Commission - Regular Meeting - Dec 20, 2018 7:00 PM
6. 2019 Annual Planning Commission Organizational Meeting
 - a. Reaffirm Bylaws, Election of Officers & Committee Appointments
7. Call to Public
8. Old and New Business
 - a. Site Plan #19-002, Panda Express
9. Call to Public
10. Planner's Report
11. Committee Reports
12. Adjournment

1. **Call to Order** - THE MEETING WAS CALLED TO ORDER BY COMMISSIONER THOMAS MURPHY AT 7:00 PM

2. **Pledge of Allegiance**

3. **Roll Call**

PRESENT: Joe Colaianne, Thomas Murphy, Larry Fox, Sue Grissim, Keith Voight
ABSENT: Jeff Newsom, Michael Mitchell

4. **Approval of Meeting Agenda**

Motion to Approved Meeting Agenda

A Motion to approve the Meeting Agenda was made by Commissioner Colaianne and seconded by Commissioner Grissim. Motion carried unanimously.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Joe Colaianne, Trustee
SECONDER:	Sue Grissim, Commissioner
AYES:	Colaianne, Murphy, Fox, Grissim, Voight
ABSENT:	Newsom, Mitchell

5. **Approval of Meeting Minutes**

a. Planning Commission - Regular Meeting - Oct 25, 2018 7:00 PM

A Motion to approve the Meeting Minutes of October 25, 2018, was made by Commissioner Grissim and seconded by Commissioner Voight.

RESULT:	ACCEPTED [UNANIMOUS]
MOVER:	Sue Grissim, Commissioner
SECONDER:	Keith Voight, Secretary
AYES:	Colaianne, Murphy, Fox, Grissim, Voight
ABSENT:	Newsom, Mitchell

6. **Call to Public**

None

7. **Public Hearing**

None

8. **Old and New Business**

a. Site Plan #18-005, Checkers Walk-In Freezer

Director Langer gave an overview of the request stating the following:

- Recently opened next to BP gas station.
- Requesting a walk-in freezer behind the restaurant which typically must be either inside a structure or behind a screen wall that matches the building.
- Proposing to install a screen wall as the freezer is outside of the building.
- Primary building surface proposed is EIFS to match the building.
- Intend to re-install proposed landscaping there to another location on the site.

Minutes Acceptance: Minutes of Dec 20, 2018 7:00 PM (Approval of Meeting Minutes)

The Applicant, Seth Hursh, Marketing Manager for IB Corporation, owner of Checkers, introduced himself and offered more detail about the relocation of the landscaping materials stating they have been relocated to a couple of the nearby parking lot islands.

Chair Fox moved on to the staff review letter and touched on the high points.

Commissioner Murphy asked about the size of the freezer and how much space there will be between the freezer and the screen wall or building. The Applicant stated he knows the freezer will be attached to the wall with L brackets but he did not know how much space is in between the freezer and the wall. Commissioner Murphy stated he wants to confirm there would not be an egress or safety issue created. Director Langer gave the dimensions of the freezer and the slab concluding there would be a small space around the freezer and would most likely not create a safety issue.

Commissioner Voight offered the following Motion:

Move to approve Site Plan Application #18-005 a request to install a walk-in freezer and screen wall to the rear of the existing Checkers restaurant with drive-through service, in an existing tenant space, at 10440 Highland Road. Approval is subject to the following conditions:

1. **The applicant shall adequately address the outstanding items noted in the Planning Department’s memorandum, dated December 13, 2018, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.**
2. **Applicant complies with any requirements of the Department of Public Works Director and Hartland Deerfield Fire Authority, Township Engineering Consultant, and other applicable governmental agencies.**

Seconded by Commissioner Colaianne. Motion carried unanimously.

2. **Applicant complies with any requirements of the Department of Public Works Director and Hartland Deerfield Fire Authority, Township Engineering Consultant, and other applicable governmental agencies.**

Seconded by Commissioner Colaianne. Motion carried unanimously.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Keith Voight, Secretary
SECONDER:	Joe Colaianne, Trustee
AYES:	Colaianne, Murphy, Fox, Grissim, Voight
ABSENT:	Newsom, Mitchell

b. Site Plan #18-006, Shared Driveway, Fenton Road

Director Langer gave an overview of the request stating in order to divide the subject property into two (2) parcels and comply with the minimum zoning district standards for lot width and lot area, the applicant is proposing to establish a shared driveway easement that will provide the required access for each of the proposed parcels. He also stated the Applicants are requesting a six (6) inch gravel base rather than the eight (8) inches initially proposed.

Minutes Acceptance: Minutes of Dec 20, 2018 7:00 PM (Approval of Meeting Minutes)

The Applicant, Julie Diehl and her father, introduced themselves and explained they are looking to divide the property to build a home for the parents/grandparents and a shared driveway is a required component for access.

Chair Fox moved on to the staff review letter mentioning the various sections.

Director Langer stated the shared driveway is typically constructed prior to issuance of the Land Use Permit for the house which eliminates the need for taking escrow funds.

Chair Fox mentioned the Fire Authority has given their approval for the length of the driveway even though it exceeds 660 feet as it will have a "T" type turnaround.

Chair Fox stated the required Maintenance Agreement is currently being reviewed. Director Langer stated he used a previously approved agreement as a template for this agreement and does not anticipate any problems. It is currently under review by the Township Attorney.

Chair Fox briefly explained the purpose of a Maintenance Agreement stating it serves as a recorded legal document to ensure the shared driveway is adequately maintained for perpetuity regardless of who the property owners may be.

Commissioner Murphy asked about the 660 foot limit for shared driveways. Director Langer explained he does not know why that is the case here in Hartland Township but that number is very common in many communities. The thought behind it is from a fire safety standpoint, fire trucks have difficulty backing up long distances and going down that far creates some concern. The other reason is if one has a long cul-de-sac road and something happens where the access is blocked, it could create a problem for the property owners trying to exit or emergency services trying to enter. As long as a fire truck can turn around via a cul-de-sac or "T" turnaround, the Fire Authority does not typically have concerns.

The Planning Commission briefly discussed revisiting the 660 foot shared driveway length issue.

Commissioner Grissim offered the following Motion:

Move to approve Site Plan #18-006, for a shared driveway on the property located at 5210 Fenton Road with the following conditions:

- **The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated December 13, 2018, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.**
- **The applicant shall comply with any requirements of the Township Engineering Consultant, Department of Public Works Director, and Hartland Deerfield Fire Authority.**
- **The applicant shall revise the proposed maintenance agreement consistent with any recommendations of the Township Attorney.**
- **The applicant shall acquire the necessary permits from Livingston County, as well as any other governmental agency.**

Seconded by Commissioner Colaianne. Motion carried unanimously.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Sue Grissim, Commissioner
SECONDER:	Joe Colaianne, Trustee
AYES:	Colaianne, Murphy, Fox, Grissim, Voight
ABSENT:	Newsom, Mitchell

9. Call to Public

None

10. Planner's Report

Director Langer reported the following:

- The Township is looking at installing a screen for the projectors and he has been charged with asking the Planning Commission on which side of the room should it be installed. The Planning Commission indicated the south wall.
- The Ordinance Review Committee has been meeting to discuss the Industrial and Light Industrial Architectural Standards. They would like to better identify what is the concern that needs to be addressed in this ordinance amendment; is it the cost, the construction, reducing the requirement for high cost materials that drive up construction cost, or something else?

Chair Fox replied his recollection is to make sure the Planning Commission is comfortable with what the standards are as they have not been reviewed for at least the 14 years he has been serving on the Commission. It was not the need to change them as much as it was the need to review them. If one looks at buildings constructed to those standards, is that what the Planning Commission wants future Industrial or Light Industrial buildings to look like: are the standards too high, too low, or about right? The Planning Commission is looking for pictures and examples of what the current standards are so they can decide if they are comfortable with those standards.

Director Langer went on to explain that as research is ongoing, they are finding many communities do not have architectural standards, for Industrial or Light Industrial structures, or if they do, they are very similar to the current Hartland Township standards.

The Director and the Planning Commission discussed the following:

- Metal siding on garage doors makes that elevation have more metal siding than might otherwise be permitted.
- It was proposed to exempt garage doors or require garage doors to be on elevations not visible from the street.
- There is concern about limiting the location of garage doors.
- Planning Commission would like examples of what is out there now, such as Clyde Road.
- In the past, one applicant was non-compliant due to the garage doors and was required to add more brick to offset the doors. Is that what the Planning Commission intends?
- Industrial vs. Commercial facilities are in different districts and have different requirements.

The Planning Commission briefly discussed the process for a fire department to extinguish a rural area house fire and the equipment used which may have helped to determine the 660 foot shared driveway limit.

The Planning Commission also briefly discussed the possible impacts of restaurants adding external freezer units, and the reasons for doing so.

11. Committee Reports

None

12. Adjournment

Motion to Adjourn

A Motion to adjourn was made by Commissioner Voight and seconded by Commissioner Murphy. Motion carried unanimously. The meeting was adjourned at approximately 7:38 PM.

RESULT:	APPROVED [UNANIMOUS]
MOVER:	Keith Voight, Secretary
SECONDER:	Thomas Murphy, Commissioner
AYES:	Colaianne, Murphy, Fox, Grissim, Voight
ABSENT:	Newsom, Mitchell

Submitted by,

Keith Voight
Planning Commission Secretary

Minutes Acceptance: Minutes of Dec 20, 2018 7:00 PM (Approval of Meeting Minutes)



HARTLAND TOWNSHIP PLANNING COMMISSION

RULES AND PROCEDURES (BY-LAWS)

*Originally adopted December 16, 2010
Last Reviewed and Reaffirmed January 11, 2018*

I. INTRODUCTION

The basic responsibilities of the Hartland Township Planning Commission are contained in the Michigan Planning Enabling Act, Public Act 33 of 2008 and the Michigan Zoning Enabling Act, Public Act 110 of 2006, each as amended. Each of these Acts grants specific jurisdiction to a Township Planning Commission in matters of land use planning and associated public concerns. These rules of procedure will be followed by the Hartland Township Planning Commission. Also presented are the general operating regulations for the Hartland Township Planning Commission. Regular meetings, special meetings, public records, agendas, quorum, disqualification, order of business and parliamentary procedures will be outlined.

II. DUTIES OF THE PLANNING COMMISSION

The Planning Commission shall perform the following duties:

- Prepare, review and update the master plan (Township Comprehensive Plan) as a guide for development.
- Take such action on petitions, staff proposals and Township Board requests for amendments to the Zoning Ordinance as required.
- Take such action on petitions, staff proposals and Township Board requests for amendments to the master land use plan as required.
- Prepare an annual written report to the Township Board of the Planning Commission's operations and status of planning activities, including recommendations regarding actions by the Township Board related to planning and development.
- Prepare an annual work program and budget.
- Review subdivision and condominium proposals and recommend appropriate actions to the Township Board.
- Prepare special studies and plans, as deemed necessary by the Planning Commission or Township Board and for which appropriations of funds have been approved by the Township Board, as needed.
- Attend training sessions, conferences or meetings as needed to properly fulfill the duties of Planning Commissioner and for which appropriations of funds have been approved by the Township Board, as needed.
- Prepare a Capital Improvements Plan.
- Perform other duties and responsibilities or respond as requested by any Township Board or Commission.

III. RULES OF ADMINISTRATIVE PROCEDURE

The following rules of procedure were adopted and are periodically reaffirmed by the Township Planning Commission to facilitate the performance of its duties and the exercising of its responsibilities, functions and powers.

1.0 OFFICERS

A) ELECTION

The Commission shall, at its first regular meeting of the calendar year, elect from among the voting members, a Chair, Vice–Chair, and Secretary. All elected officers are eligible for re-election.

B) TENURE

The Chair, Vice-Chair and Secretary shall take office immediately following their election and shall hold office for a term of one year or until their successors are elected and assume office.

C) DUTIES OF THE CHAIR/VICE–CHAIR

- The Chair shall preside at all meetings and perform such other duties as may be ordered by the Commission.
- The Chair shall appoint all committee members, for a term of one year. The Chair may reassign members or re-designate Committee members at his/her discretion. The Chair shall be an ex-officio member of all committees.
- All communications, petitions and reports shall be globally addressed to the Commission and delivered or mailed to the Township Hall attention the Chair or Township Planner.
- The Vice-Chair shall act in the capacity of the Chair in his/her absence. In the event the office of the Chair becomes vacant, the Vice-Chair shall succeed to this office for the unexpired term and the Commission shall select a successor to the office of Vice-Chair for the unexpired term.

D) DUTIES OF THE SECRETARY

The Secretary shall execute all documents in the name of the Commission, perform the duties listed below, and shall perform such other duties as the Commission may determine.

1. MINUTES

- The Secretary shall be responsible for the minutes and they will be maintained in suitable volumes at the Township Hall. Copies of the draft minutes will be provided to all voting Commission members in the packet of information with the agenda for the meeting in which they are to be approved. The minutes shall contain a brief synopsis of the meeting, including a complete restatement of all motions and record of votes, conditions or recommendations made on any action and record of attendance.
- After minutes from a previous meeting are approved by a majority of the Commission at subsequent meeting, they will be signed by the Secretary and forwarded to the Township Clerk.
- The minutes of the Commission meetings shall be filed in the office of the Township Clerk as a public record and no official action taken by the Commission at any meeting shall be validated or effective until a copy of the minutes of the meeting at which such action was taken shall be filed with the Township Clerk.
- The Township Clerk shall keep a record of the Commission transactions, findings, and determinations, which shall be a public record. These records shall be suitably filed in the offices of Hartland Township by the Clerk's office with a duplicate copy kept in the Planning Department's files. All meetings, minutes, records, documents, correspondence and other materials of the Planning Commission shall be open to public inspection in accordance with the Freedom of Information Act, except as may otherwise be provided by law.

2. CORRESPONDENCE

When assigned, the Secretary shall be responsible for issuing formal written correspondence with other groups or persons, as directed by the Planning Commission. All communications, petitions, reports or other written materials received by the Secretary shall be brought to the attention of the Planning Commission.

3. RECORDING SECRETARY

The Commission may appoint a Recording Secretary, who shall be an employee of the Commission and be reimbursed for his/her services by the Township. The Recording Secretary shall make a record of Commission proceedings and carry out other assignments as delegated from time to time by the Commission or Secretary. The Recording Secretary under the direction of the Secretary may execute any of the Secretary responsibilities defined above.

E) DUTIES OF THE TOWNSHIP BOARD REPRESENTATIVE

The Township Board representative shall present the recommendations of the Planning Commission as required by the Zoning Ordinance, Subdivision Ordinance or other Ordinance to the Township Board prior to their consideration of such request. The representative will also update the Township Board of other efforts undertaken by the Planning Commission, such as subcommittee progress, ordinance revisions, etc.

F) DUTIES OF THE ZONING BOARD OF APPEALS REPRESENTATIVE

The Planning Commission representative to the Zoning Board of Appeals shall report the actions of the Zoning Board of Appeals to the Planning Commission and update the Zoning Board of Appeals on actions by the Planning Commission that relate to the functions and duties of the Zoning Board of Appeals.

2.0 MEETINGS

A) REGULAR MEETINGS

The regular meetings of the Hartland Township Planning Commission will be held the second and fourth Thursdays of every month at a time to be determined by the Planning Commission at the meeting in which the regular meeting schedule is adopted or as otherwise designated by the Chair of the Planning Commission. When the regular meeting day falls on a legal holiday or when an occasion of special importance takes place, the Chair shall select a suitable alternative day in the same month. Prior to the end of the year, the Chair will submit to the Planning Commission the regular meeting schedule for the upcoming year, for their approval. The adopted schedule will become the regular schedule of the subsequent year and will be posted at the Township Hall within ten (10) days after the first Planning Commission meeting of the New Year in accordance with the Open Meetings Act

Ideally, all meeting agendas will also be posted at the Township Hall at least one week prior to the meeting and will be provided to Hartland TV for advertisement on the local cable network. All meeting notices shall be in accordance with the Open Meetings Act.

B) SPECIAL MEETINGS

In addition to the bi-monthly regular meetings, the Commission may also periodically conduct special meetings. There are three kinds of Special Meetings that may be called by the Planning Commission. The various special meeting types are discussed below:

- **Special Meeting A:** A special meeting may be called to convenience applicants with matters before the Planning Commission for consideration, provided that the petitioners' application for special meeting shall be accompanied with appropriate fees, as established

by resolution of the Hartland Township Board. The Planning Department shall give special meeting petitions to the applicant. Once the Planning Department verifies that the appropriate fees have been received, the Department shall forward the application to the Planning Commission Chair. The Chair shall give notice of the special meeting by means of notice delivered to each member at least seventy-two (72) hours prior to such meeting and shall state the purpose, item, and place of the meeting.

- **Special Meeting B:** A regular meeting called by the Chair or majority of the Planning Commissioners for the expressed purpose of addressing normal and typical business that comes before the Commission. For example, a special meeting may be called for urgent township business that cannot await action until the next regularly scheduled meeting. If a special meeting is required to satisfy statutory deadlines (such as required by the Subdivision Control Act), then additional applicant fees may be waived.
- **Work Session:** A work session is another form of special meeting held by the Planning Commission. Work sessions may be held for subcommittee meetings (fewer than three Planning Commission members present) or for a meeting of the full Commission for general discussion to further a specific purpose. Generally, discussion and action for items intended for Regular Meetings will not be acted on during a work session, especially since a quorum may not be present. In the interest of satisfying the Open Meetings Act, all work sessions involving the whole Planning Commission shall be duly advertised to permit the public to attend.

Notwithstanding the foregoing descriptions of the three types of special meetings held by the Planning Commission, a meeting shall be a legal meeting if enough members of the Planning Commission are present to constitute a quorum and minutes will be prepared.

C) QUORUM

Four (4) members shall constitute a quorum for the transaction of business and the taking of official action. Whenever a quorum is not present, those present may adjourn the meeting to another time and day, in accordance with the provisions of the Open Meetings Act, or hold the meeting to consider the matters on the agenda. No action shall be taken at a meeting at which a quorum is not present.

D) VOTING

An affirmative vote of the majority of the Planning Commission membership is required to adopt any part of the master plan or amendments to the plan (MCL 125.328). Unless required by statute, other actions or motions placed before the Planning Commission may be adopted by a majority vote of the membership in attendance, as long as a quorum is present. Voting shall be by voice vote; a roll call vote shall be required if requested by any commission member or directed by the Chair. Except in the case of conflict of interest, all Planning Commission members, including the Chair, shall vote on all matters.

Voting shall be recorded by verbal "yeas" and "nays" unless otherwise ordered by a PC member.

E) NOTICE

The Township Planner shall oversee the issuance of such notice as may be required by the Planning Commission, including Open meetings Act notices, as well as notice required for specific planning or zoning actions under the Michigan Planning Enabling Act of the Michigan Zoning Enabling Act. Verification of such notice shall be provided to the Planning Commission prior to the date and time of the public hearing.

F) AGENDA

The Chair with information and documentation provided by staff and consultants shall determine when items are to be placed on the agenda. The staff shall then prepare the agenda in its written form for distribution.

All regular and special meetings shall conduct business in the following order:

1. Call to Order
2. Pledge of Allegiance
3. Roll Call and Recognition of Visitors
4. Approval of Meeting Agenda
5. Approval of Minutes for past meetings or work sessions
6. Call to Public
7. Public Hearing(s)
8. Old and New Business
9. Call to Public
10. Planner's Report
11. Committee Reports
 - Correspondence Received
 - Committee Reports from Planning Commissioners
 - Report from Township Board Representative
 - Report of Zoning Board of Appeals Representative
12. Adjournment

Note: The agenda may be modified to include a work session following a brief recess of the regular meeting.

G) PARLIAMENTARY PROCEDURES

Except where otherwise specified, meetings shall be conducted according to Robert's Rules of Order (21st CENTURY ROBERT'S RULES OF ORDER COPYRIGHT 1995), except to the extent contradicted by these rules and procedures, and with the exception that the Chair shall vote.

H) MOTIONS

The Chair or Recording Secretary shall repeat complex motions before a vote is taken. The names of the persons making the motion and its second shall be recorded in the meeting minutes. The meeting minutes shall show the count of the vote with the "nays" being identified.

3.0 COMMITTEES

In order to facilitate the orderly review of matters before the Commission, the following standing committees are created:

A) SITE PLAN REVIEW COMMITTEE

The Committee shall include two (2) Planning Commission members. The Committee will review site development plans as provided by the Township Zoning Ordinance in an informal manner through meeting with the developer/applicant. Upon receiving a complete application for an informal Site Plan Review, the Planning Department will schedule a meeting with the Site Plan Review Committee and the applicant. The Committee will update its findings and

brief the Planning Commission when the informal review is complete. The makeup of the Committee may vary depending on the number of site plan reviews occurring and individual Planning Commissioner time constraints.

B) OTHER COMMITTEES

The Chair may appoint other committees from time to time, which serve to assist the Planning Commission in discharging its responsibilities.

C) APPOINTMENTS AND VACANCIES

The Chair shall make appointments to these committees. The length of appointment shall be for one (1) calendar year. These committees shall meet as needed to consider the referrals given to them by the Township Planner. The Committees will review applications and make their recommendations to the Planning Commission.

If a vacancy occurs on the Planning Commission that affects the standing committee appointments, the Chair shall appoint replacement members to complete the balance of the year.

4.0 PROCEDURE FOR PUBLIC PARTICIPATION

A limit of three (3) minutes per participant during the call to the public shall be permitted for any written or oral statements. The unofficial policy of the Commission will be to accept public input during the meeting for topics under discussion. If necessary, the Chair may set time limits for public participation during any meeting to ensure an orderly meeting.

All public hearings must be held as part of a regular or special meeting of the Planning Commission. The following rules of procedure shall apply to public hearings held by the Planning Commission:

- Chair opens the public hearing and announces the subject.
- Chair summarizes the procedures/rules to be followed during the hearing.
- Township planner/engineer/other consultants present their report and recommendation.
- Applicant presents the main points of the application.
- Public at large is invited to speak in support or opposition to the application.
- Chair closes the public hearing and returns to the regular/special meeting.

To ensure everyone has the opportunity to speak, the Chair may elect to limit the time permitted to speak, except that the applicant may be permitted additional time as the Chairperson allows. The Chair may also elect to allow persons to speak only once, until all persons have had the opportunity to speak, at which time the chairperson, in his/her discretion, may permit additional comments.

All comments by the public, staff and the Planning Commission shall be directed to the Chair. All comments shall be related to the application under discussion; unrelated comments shall be ruled out of order.

5.0 CONFLICT OF INTEREST

Planning Commission members shall declare a conflict of interest and abstain from participating in a hearing or deliberations on a request when:

- A)** The applicant is an immediate family member or relative;

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Originally approved Dec. 16, 2010; Last Reviewed and Reaffirmed January 11, 2018

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- B) The Planning Commission member has a business or financial interest in the property involved in the request or has a business or financial interest in the applicant's company, agency or association;
- C) The Planning Commission member owns or has a financial interest in neighboring property. For purposes of this section, a neighboring property shall include any property falling within the notification radius for the proposed development, as required by the Zoning Ordinance or other applicable ordinance, or
- D) There is a reasonable appearance of a conflict of interest, as determined by the Planning Commission member declaring such conflict.

The Planning Commission member declaring a conflict of interest shall state the nature of the conflict and whether he or she believes they could impartially consider the request before the commission. He or she should individually decide to abstain from any discussion or votes relative to the matter that is the subject of the conflict. The member declaring a conflict may absent him/herself from the room in which the discussion takes place, unless doing so would violate his or her constitutionally protected rights to participate. He or she should not make any presentations to the Planning Commission as a representative of the proposal.

6.0 ANNUAL ORGANIZATIONAL MEETING

An annual organizational meeting shall occur at the first regular meeting of January for election of a Chair, Vice-Chair and Secretary.

7.0 PLANNING COMMISSION ASSISTANCE**A) Duties of the Township Planner**

- Accept applications for matters to be reviewed by the Planning Commission and ensure that such applications are complete.
- Forward application materials to the Planning Commission at least one week prior to the meeting at which the matters will be considered.
- Inform the Planning Commission of administrative and enforcement actions taken on behalf of the Township related to the zoning or other appropriate ordinance.
- Prepare amendments to the Zoning Ordinance as directed by the Planning Commission.
- Attend regular Planning Commission Meetings and Work Sessions.
- Consult with the Planning Commission and other township officials concerning interpretation, procedural questions and other matters arising from the Zoning Ordinance.
- Prepare written reviews and recommendations, if appropriate, for all requests and development proposals to be considered by the Planning Commission.
- Meet with applicants, their representatives and/or township officials as needed to properly perform project reviews.
- Prepare an annual report regarding development activities and status of projects as they relate to the Planning Commission's duties as described.
- Perform other duties as directed by the Planning Commission.

B) Assistance From Other Professionals

- The Planning Commission may be assisted by other professional or township staff as needed, including the building inspector, township attorney, township engineer, consultants or other persons or agencies.

8.0 AMENDMENTS TO RULES AND PROCEDURES

Amendments to these rules and procedures may be initiated by any member of the Planning Commission at any regular meeting and voted upon. To make certain the By-Laws reflect current Commission practice, it is recommended that they be reviewed and reaffirmed annually.

Originally adopted by the Hartland Township Planning Commission at a regular meeting dated:

- December 16, 2010

Reviewed and reaffirmed by the Hartland Township Planning Commission at a regular meeting dated:

- January 12, 2012
- February 14, 2013
- January 23, 2014
- January 15, 2015
- January 14, 2016
- January 12, 2017
- January 11, 2018
- February 14, 2019

_____ - Chair

_____ - Vice-Chair

_____ - Secretary



Board of Trustees

William J. Fountain, Supervisor
 Larry N. Ciofu, Clerk
 Kathleen A. Horning, Treasurer

Joseph W. Colaianne, Trustee
 Matthew J. Germane, Trustee
 Glenn E. Harper, Trustee
 Joseph M. Petrucci, Trustee

MEMORANDUM

Date: February 7, 2019

To: Hartland Township Planning Commission

From: Planning Department

Subject: **Panda Express – Amend Planned Development and Site Plan Application #19-002–Request to construct an approximate 2,300 square foot Panda Express Restaurant, with one drive-through window, within the Hartland Towne Square development (Outlot #8)** Project site is located north of Highland Road (M-59), south of Hartland Square Drive, and west of Hartland Road (Tax Parcel ID #4708-21-400-074)

Applicant Information

Applicant: Norr Architects and Engineers
 150 W. Jefferson Avenue
 Suite 1300
 Detroit, MI 48226

Site Description

The Hartland Towne Square Planned Development (PD) is located north of Highland Road (M-59) and west of Clark Road in Section 21 of Hartland Township. The entire commercial development is approximately 81.34 acres in size and is comprised of multiple parcels. The subject site is located north of Highland Road (M-59), south of Rovey Drive, west of Clark Road. On the development plan for Hartland Towne Square (Final Plan dated June 18, 2008), the subject site is labeled as Outlot #8. The site is currently vacant; however, the site was prepared for development when Hartland Square Drive was constructed.

The plans indicate the subject site is approximately 1.147 acres in area, which is slightly smaller than the Final Plan, which indicates Outlot #8 as 1.64 acres. The subject site, Tax Parcel ID #4708-22-400-074, is under the ownership of Ramco RM Hartland SC, LLC. It is presumed that the property owner will request a land division to sell the approximate 1.147 acre parcel to the applicant and attach the remaining portion to another parcel.

Hartland Towne Square is zoned Planned Development (PD) and was approved in 2008.

Request

The applicant is requesting approval to amend the previously approved site plans for Hartland Towne Square Planned Development (PD) and construct an approximate 2,300 square foot Panda Express restaurant with one drive-through window, under Site Plan #19-002. In addition, the existing Planned Development does not permit any additional drive-through restaurants, so the applicant is requesting an amendment to the PD to permit an additional drive-through restaurant.

Overview and Background Information

The Hartland Towne Square Planned Development was approved by the Township on March 18, 2008, under SP #429F. The approved plans for PD include the Planned Development Agreement (the “Agreement”), the Pattern Book for Hartland Towne Square (site design standards), and the Final Plan (detailed site and landscape plans). Together these documents provide the development standards for Hartland Towne Square PD. Six amendments to the PD have occurred between 2008 and 2017 as outlined below:

1st Amendment

The first amendment to the PD was approved on July 1, 2008. The Agreement, Final Plan (Amended Final Plan, dated June 18, 2008), and Pattern Book (Rev. NO. 3 dated June 18, 2008) were updated in conjunction with the construction of Meijer’s.

2nd Amendment

The second amendment to the PD was approved on August 6, 2008 which facilitated the granting of certain alternate access easements within the PD site. The second amendment did not require changes to the previously approved site plans (Amended Final Plan) or Pattern Book.

3rd Amendment

On January 20, 2009, the third amendment to the PD Agreement was approved. The text of Paragraph 21 of the PD Agreement (Integration) was amended to establish the required signatories of any amendment to the PD Agreement. Changes to the Amended Final Plan and Pattern Book were not required.

4th Amendment

The fourth amendment was approved on March 30, 2009, which amended the text of Paragraph 14.3 of the Agreement as it related to the newly configured Hartland Road and the granting of the Highway Easement to the Livingston County Road Commission. Changes to the Amended Final Plan and Pattern Book were not required.

5th Amendment

On August 4, 2010, the fifth amendment was approved. The text of Paragraphs 2 (Intent) and Section 6.6.4 (Signs) were amended to provide for the incorporation of approved amendments to the Agreement into the Final Plan and to provide for the relocation of and replacement of a directional sign to direct traffic to businesses on Rovey Drive. Drawings of the directional sign and revised site plans showing the location of the sign are incorporated into the fifth amendment document and as part of Sign Application #715. The Amended Final Plan and Pattern Book were not formally amended.

6th Amendment

On February 7, 2017, the Township Board approved the sixth amendment, which amended the wall sign standards as outlined in the Hartland RAMCO Planned Development Agreement (Section 6.6.3) and Hartland Towne Square Pattern Book (Page 28), under Site Plan Application #439A.

Other History

In 2008, several site plan applications were submitted for commercial buildings within the Hartland Towne Square development; however, the projects were not approved by the Township. Currently, Hartland Towne Square includes the following businesses; Meijer’s, Taco Bell, Belle Tire, Tim Horton’s/Cold Stone Creamery and Culver’s. Additional approvals include the following projects:

Attachment: SP 19-002 Panda Express staff report 02.07.2019 (2978 : Site Plan #19-002, Panda Express)

- On January 12, 2017, the Planning Commission approved Site Plan Application #544, a request to construct an approximate 64,400 square foot Emagine Theatre, to be located in the area bounded by Hartland Road and Hartland Square Drive, within the Hartland Towne Square PD.
- On June 22, 2017, the Planning Commission approved Site Plan Application #17-008, a request to revise previously approved plans under SP #544 and reduce the size of the Emagine Theatre building from 64,400 square feet to 55,132 square feet.
- On January 25, 2018, the Planning Commission approved Site Plan Application #17-019, a request to construct an approximate 2,900 square foot Flagstar Bank, with three (3) drive-through windows, to be located at the northwest corner of Hartland Road and Highland Road (M-59).

The 2008, PD Agreement outlines allowed and prohibited uses within the PD development in Section 3 (*Permitted Uses, Limitations, and Prohibited Uses*). Per Section 3.1.16, drive-through service is permitted for up to seven establishments within the development, including two for restaurant uses and one drive-through service for a bagel, donut, or coffee shop. Tim Hortons is considered a coffee/donut shop. Currently, one restaurant has a drive-through window (Taco Bell). The request for Culver's is considered the second and final drive-through service for a restaurant use. The property owner (Ramco Hartland TRS, Inc.) has acknowledged this in a letter dated May 3, 2017. Also, the plans have been reviewed by the owner and the owner has approved the plans and the sign program as noted in the letter dated June 9, 2017.

As a point of clarification, a separate special use permit is not required for the drive-through use as it is a permitted use in the PD Agreement.

Planned Development Procedure

New construction within the Hartland Towne Square PD must go through the Township's standard site plan approval process with review and approval by the Planning Commission. The proposed project will be reviewed for compliance with applicable standards with the Planned Development Agreement, Pattern Book, Final Plan, and the Township's Zoning Ordinance as applicable. The Planning Commission has Site Plan review authority and will make a final decision on Site Plan #19-002.

The amendment to the PD will require Township Board approval; after the Planning Commission has made a recommendation.

Current Project Summary

AMEND PD (PLANNED DEVELOPMENT AGREEMENT FOR HARTLAND TOWNE SQUARE)

Section 3.1.16 of the PD Agreement states "drive-through service shall be permitted for up to seven establishments within the development including one drive-through for Major A, one for Major B, two for non-restaurant uses, two for restaurants and one drive-through for a bagel, donut or coffee shop." As a result, only two (2) drive-through windows are permitted for restaurants in the development. Taco Bell and Culver's currently occupy those drive-through windows. The applicant is requesting to amend this provision to permit three (3) restaurants to include a drive-through. Also, with the addition of another drive-through restaurant, this will increase the total number of drive-through businesses from seven (7) to eight (8). These are the

two (2) provisions that are requested to be amended. The amendment to the PD requires the Planning Commission to make a recommendation to the Township Board.

SITE PLAN #19-002 (REQUEST TO AMEND FINAL PLAN AND CONSTRUCT PANDA EXPRESS RESTAURANT)

Existing Site Conditions

The site for the proposed Panda Express restaurant is generally considered to be Outlot #8 on the Final Plan. This area is bounded by Highland Road (M-59) on the south and Hartland Square Drive on the north, and is west of the Taco Bell restaurant. The site is vacant of buildings but was prepared for development when Hartland Square Drive was constructed.

The plans show an access point to Hartland Square Drive and connections to the Taco Bell restaurant site, to the east, and a connection to the vacant property, to the west. Utilities (water and sewer) are available and a stormwater management plan is in place for the entire Hartland Towne Square PD development.

A landscaped area is in place on the subject site, along the frontage of Highland Road. The landscaping was installed as part of the development of the PD sites (outlots) along Highland Road and generally follows the 2008 PD landscape plan (see landscape plan for Outlot # 8 of the PD landscape plan).

Overview of the Proposed Use

The applicant proposes to construct an approximate 2,300 square foot Panda Express restaurant with one drive-through window, on the west side of the building. Nine (9) stacking spaces are provided in the drive-through lane, with five (5) spaces before the ordering station.

The restaurant will operate seven days a week with the hours of operation from 10:00 A.M. to 10:00 P.M. Staffing includes a total of approximately 10 to 14 employees, primarily part-time positions. Typically there will be a maximum of five (5) to seven (7) employees, maximum, at any one time working at the restaurant.

The layout for Outlot #8 on the Final PD Plan shows an approximate 12,000 square foot retail building, parking area with 68 parking spaces, and landscaping. The applicant intends to modify the Final Plan and construct an approximate 2,300 square foot restaurant with one drive-through window. The proposed site layout is smaller than originally depicted.

Impact Assessment

No separate impact assessment is required for the proposed new use.

Traffic Generation

No separate traffic impact assessment is required for the proposed new use.

Future Land Division

As mentioned above, staff understands the property owner will apply for a land division to rearrange the parcel lines for Outlot #8 (Panda Express) and adjust the size of each parcel, in a separate application and process.

However, staff has discussed the land division with the owner of the property, which is also the developer for the entire PD. Staff has presented concerns with the way land divisions have previously been completed, whereby the right-of-way area for Hartland Square Drive and Rovey

Attachment: SP 19-002 Panda Express staff report 02.07.2019 (2978 : Site Plan #19-002, Panda Express)

Drive appear to be excepted from ownership of the adjacent parcels. This presents potential future concerns with the ownership and maintenance of both Hartland Square Drive and Rovey Drive, which are private roadways. The Planning Department's concern is that eventually, Hartland Square Drive and Rovey Drive could eventually become split off from all other parcels and become their own separate parcel. In that event, there would be no single business or entity responsible for the long term maintenance of these roads.

This is an issue that will need to be addressed at some point in the future. It is not the desire to hold up the current applicant on this matter; however, staff wanted to take the time to make both the applicant and the Planning Commission aware of this issue. Staff recommends that prior to any other future developments, an amendment to the PD, or some other document is performed that would establish a requirement for all properties to be liable for their share of private roadway maintenance and repair.

Access and Circulation

The site is accessed from a proposed driveway access to Hartland Square Drive and a access that connects to the eastern property, which is currently Taco Bell restaurant. A future connection is also provided to the undeveloped property to the west. At the time the western property is developed a connection will exist.

Requirements

Lot Size (Sec 3.1.18 of Zoning Ordinance)

- Required – Min. 20 acres for a Planned Development (entire development area); minimum lot size undefined for individual parcel or lot
- Proposed – 1.147-acre parcel for Panda Express site that is within the PD
- Meets Requirement? Minimum lot size undefined
- Comment – (none)

Frontage

- Required – Minimum Frontage undefined for individual lots with an approved Planned Development
- Proposed – Approx. 224' along Highland Road/M-59 and approx. 227' along Hartland Square Drive
- Meets Requirement? – N/A
- Comment – (none)

Building Setbacks (Per approved Final Plan - Sheet SP 1.04)

Setback	Required	Proposed	Meets Requirements? (Y / N)	Comment
Hartland Square Drive	20'	111.6'	Y	
Highland Road (M-59)	40'	51.2'	Y	

- Meets Requirement? – Yes
- Comment – (none)

Attachment: SP 19-002 Panda Express staff report 02.07.2019 (2978 : Site Plan #19-002, Panda Express)

Parking Lot / Driveway / Internal Roads Setbacks (Per Final Plan- Sheet SP 1.04)

Setback	Required	Proposed	Meets Requirements? (Y / N)	Comment
Front-Hartland Square Drive	20'	20'	Y	
Front-Highland Road (M-59)	20'	20'	Y	

- Meets Requirement? – Yes
- Comment – (none)

Building Height (Per Final Plan- Sheet SP 1.04)

- Required – Max. 35'
- Proposed – 23'-6" to top of parapet wall of building
- Meets Requirement? – Yes
- Comment – (none)

Lot Coverage

- Required – Undefined for a Planned Development, 75% for principal building in GC
- Proposed – 65.11%
- Meets Requirement? – Lot coverage undefined in the Planned Development standards
- Comment – (none)

Site Requirements

Off-Street Parking (Per approved Pattern Book – Page 44)

- Required – 1 space for each 100 square feet of gross floor area, equates to 23 parking spaces (2,300 gross Sq. ft. ÷ 100), 10' X 20' spaces
- Proposed – 42 spaces, 10' X 20' spaces
- Meets Requirement? – Yes, meets Pattern Book requirements and current parking standards
- Comment – The requirement is 23 parking spaces; however, the applicant is providing 42 spaces, which exceed the required amount by 19 spaces. There is no requirement on a maximum number of parking spaces. Sec. 5.8 of the Zoning Ordinance requires 22 spaces per 1,000 sq. ft. of usable floor area plus spaces for employees during peak shift, plus 10 stacking space, 5 of which must be in advance of the ordering station. Required parking per Sec. 5.8: usable area (1,027 sq. ft. dining area) requires 23 spaces, plus 7 spaces for employees at highest shift, equates to a total of 30 parking spaces. Nine stacking spaces are shown, with 5 spaces before the ordering station.

Barrier-Free Parking (Per ADA guidelines and approved Pattern Book – Page 44)

- Required – 2 barrier-free spaces in a location most accessible to the building entrance, with at least 1 space van-accessible
- Proposed – 1 van-accessible, and 1 barrier-free spaces, located near the entrance
- Meets Requirement? – Yes
- Comments – (none)

Attachment: SP 19-002 Panda Express staff report 02.07.2019 (2978 : Site Plan #19-002, Panda Express)

Loading (Per approved Pattern Book – Page 41)

- Required – 10' X 50' loading area located away from primary/secondary entrances, not visible from the street, must be screened.
- Proposed – A note for a 10' by 50' loading area is shown in the drive aisle on the west side of the building
- Meets Requirements? – **TBD**
- Comments – **Although a separate loading area is not provided, the plan shows a loading area in the drive aisle. The plan is consistent with other approved sites in the Hartland Towne Square PD which do not show a loading area.**

Dumpster Enclosure (Per approved Pattern Book – Page 41)

- Required – Service and refuse areas should be incorporated into the structure as much as possible and screened from view via a minimum 6' high masonry enclosure to match building with a solid framed door.
- Proposed – A screened refuse enclosure, with two stalls and gates is provided in the northwest corner of the site, with size with 6-foot high brick screen wall. The plans on Sheet A-300 indicate the trash enclosure will be constructed with EIFS finish to match the building texture.
- Meets Requirements – It appears that the primary building material on the building is brick. The applicant has indicated they intend for the dumpster enclosure to match the building; but in order to comply the building material would need to be changed.
- Comments – **The applicant has indicated to Township staff that if the Township desires the dumpster enclosure to be constructed of brick, then it will be constructed of brick.**

Lighting (Per approved Pattern Book – Pages 23 and 44 and Section 5.13 of Zoning Ordinance)

- A. Light levels at Property Lines
 - Required – Max. 0.5 fc along property line adjacent to residential, or 1.0 fc along property line adjacent to non-residential (Sec. 5.13 of Zoning Ordinance)
 - Proposed – Max. 0.8 fc along west property lines; Max.0.5 fc along south property line; Max. 0.8 fc along east property line; Max. 0.7 fc along north property line
 - Meets Requirement? – Yes
 - Comments – (none)
- B. Average Illumination Levels
 - Required – Between 2.4 and 3.6 fc (average) within main parking area, and up to 5.0 fc (average) at main building entrance(s) and main driveway(s) (Per Pattern Book
 - Proposed – Average illumination within main parking area is 3.3 fc; average illumination at building entrance is 2.5 FC; average illumination at the main driveway (Hartland Square Drive) is 1.1 fc.
 - Meets Requirement? – Yes
 - Comments – (none)
- C. Maximum Illumination Level
 - Required – Not defined in Pattern Book, max. 10.0 fc per Zoning Ordinance
 - Proposed – Max. 8.6 fc
 - Meets Requirement? – Yes
 - Comments – (none)
- D. Fixture Height
 - Required – Max. 28 feet (25-foot fixture on 3-foot base)

Attachment: SP 19-002 Panda Express staff report 02.07.2019 (2978 : Site Plan #19-002, Panda Express)

- Proposed – 7 poles at 28 feet (pole with light fixture, 25 feet in height; and base, 3 feet in height)
- Meets Requirements? – Yes
- Comments – (none)

E. Fixture Type

- Required – Light fixture styles shown on Page 23 of Pattern Book; Black shoe-box fully recessed, consistent with overall development.
- Proposed –LED, shoe box fixtures on square light poles, black, (single head and double head) to match poles in the PD; 1 wall pack, LED, 6 watt bulb, shielded/full cut-off, located at rear service door; 2 shielded wall sconce lights (LED or incandescent bulb) at entrance door
- Meets Requirement? – Yes. Light fixture styles do not match previously approved light fixtures as shown in the Pattern Book.
- Comments –**The proposed LED light fixtures would be more energy efficient than the previously approved light fixtures in the Pattern Book. The proposed light fixtures are shielded and prevent light trespass which is an improvement when compared to the previously approved light fixtures in the Pattern Book. The Planning Commission to determine whether the proposed light fixtures are consistent with the intent of the Pattern Book and that the photometric plan satisfies the requirements of the Zoning Ordinance and Pattern Book with respect to illumination intensity.**

Landscaping (Per approved Pattern Book – Pages 10, 42, and 43 as well as approved Final Plan/Landscape Plan for Development Area ‘E’, for reference of existing plant materials)
**Please refer to the revised landscape plan dated February 5, 2019 (PDF version provided).*
The applicant has provided a waiver request, dated February 5, 2019, to use river rock in landscaped areas in place of shredded hardwood mulch.

A. Adjacent to Roads

Hartland Square Drive

- Required – 1 deciduous or evergreen tree per 40 lineal feet of road frontage, PLUS 1 ornamental tree per 80 lineal feet of road frontage, PLUS 8 shrubs per 40 lineal feet of road
Hartland Square Drive (approx. 227 lineal feet of road frontage): 6 deciduous/evergreen trees, 3 ornamental trees, and 45 shrubs REQUIRED
- Proposed – 6 deciduous trees; 3 ornamental trees and 45 shrubs
- Meets Requirement? – Yes
- Comments – (none)

Highland Road/M-59

- Required – 1 deciduous or evergreen tree per 40 lineal feet of road frontage, PLUS 1 ornamental tree per 80 lineal feet of road frontage, PLUS 8 shrubs per 40 lineal feet of road frontage
- Highland Road (approx. 224 lineal feet of road frontage): 3-foot high berm plus 6 deciduous / evergreen trees, 3 ornamental trees, and 45 shrubs REQUIRED
- Proposed – Existing berm and landscaping were previously installed and are to remain. Additional plantings are proposed. Total plant count (existing plus proposed plant material) is as follows: 6 deciduous trees (4 existing; 2 proposed); 5 existing ornamental trees; and 45 shrubs (25 existing; 20 proposed)
- Meets Requirement? –Yes
- Comments – (none)

B. Berm Requirements

- Required – Area adjacent to a public right-of-way (Highland Road/M-59) shall be required to have a berm, with berm to be a minimum three feet in height
- Proposed – Existing landscaped berm along Highland Road /M-59
- Meets Requirements? – Yes
- Comments – (none)

C. Parking Lot Landscaping

- Required – 10 sf of landscape area per parking space (420 sf of landscape area required for 42 parking spaces); 1 tree per 320 sf landscape area (1,257 sf landscape area proposed, equates to 4 trees required); 50% (minimum) of each island/landscaped area must be “sod, shrubs, etc.” Shredded hardwood mulch is required.
- Proposed – 1,257 sf of parking lot landscaping (490 sf required); and 4 parking lot trees (4 trees required). All interior landscape areas to be sodded or landscaped with a mixture of deciduous and evergreen shrubs and areas meet the 50% coverage.
- Meets Requirement? – Yes for required square feet of landscaped area, 50% plant coverage, and number of required trees. **TBD** for use of river stone in place of shredded hardwood mulch.
- Comments – **The applicant is requesting a waiver to use river stone in place of shredded hardwood mulch.**

D. Open Space Landscaping

- Required – 1 tree per 3,000 square feet of open space; 9,068 sf open space / 3,000 equates to 3 trees
- Proposed – 3 trees (1 deciduous and 2 evergreen trees)
- Meets Requirement? – Yes
- Comments – (none)

E. Total Required Landscaping

(Excluding berm along Highland Road /M-59)

REQUIRED:

- Deciduous/Evergreen Trees: 13
- Ornamental Trees: 3
- Required Shrubs: 45

PROPOSED:

- Deciduous/Evergreen Trees: 13
- Ornamental Trees: 3
- Shrubs: 45

(Berm along Highland Rd. per Final Plan & using 224' lineal ft. road frontage)

REQUIRED PER FINAL PLAN:

- Deciduous/Evergreen Trees: 6
- Ornamental Trees: 3
- Required Shrubs: 45
- Meets Requirement? – Yes
- Comments – applicant retaining existing plant material and adding trees and shrubs. Meets the required plant quantities.

F. Foundation Landscaping

- Required –Foundation landscaping required as determined by the Township (Sec. 7.2 of Pattern Book, page 42).

- Provided – planting beds provided on south and east sides of the building, varying in width from 3 feet to 8 feet, using a combination of plant material (ornamental trees and grasses), and river stone as mulch
- Meets Requirement? – **TBD**
- Comment – **The applicant is requesting a waiver to use river stone in place of shredded hardwood mulch.**

G. Landscaping Species

- Proposed – proposed tree species deviates from standards called for in the Pattern Book, including:

Tree species:

American Hornbeam is proposed and is not listed in the Pattern Book in the Tree category

- Meets Requirement? – **TBD**
- Comments – **Plant diversity can be beneficial and can provide seasonal interest. Planning Commission to determine if the proposed plant material meets the intent of the plant list provided in the Pattern Book and are appropriate for the overall development.**

Architecture / Building Materials (Per approved Pattern Book, Pages 24, and 36-38)

**The applicant has submitted an architectural waiver request for consideration by the Planning Commission, in a letter dated February 5, 2019. Architectural standards are noted below with additional comments at the end of this section.*

PD Requirements	Submitted Materials	Meets Requirements? (Y / N)
<p>Building Articulation. Horizontal and vertical offsets, glazing and canopy and shading systems as well as exposed structural components. Use of a diverse but complimentary color and finish palette will be required</p>	<p>The building has a mixed palette of building materials in complimentary earthtones which consist of 4" clay brick, Fiberon (5-inch wide composite wood planks), and aluminum trim and canopies.</p> <p>Three different brick colors are proposed in complimentary colors (grey, beige, and brown). Varied brick patterns are used to provide visual interest.</p> <p>Thin vertical aluminum fins are used as accents. Brown, composite wood planks (Fiberon) provide horizontal interest.</p> <p>Aluminum canopies are provided on each elevation, with variations in the canopy depth, ranging from a few inches to 2 feet.</p>	<p>Y</p>

Materials Used as Defined in the Pattern Book dated March 18, 2008		Materials: Brick (3 colors); Fiberon; aluminum/metal canopies and accent bands; window frames: Aluminum/metal (dark grey)		Y			
Materials Required		Schedule		-	Materials Schedule – Proposed		
Brick (4" natural clay brick)	100% (40% Min)	South Elevation	79.2%	Y	North Elevation	48.6%	Y
		East Elevation	83%	Y	West Elevation	52.9%	Y
Glass	50% Max	South Elevation	2.7%	Y	North Elevation	22.1%	Y
		East Elevation	0%	Y	West Elevation	18.6%	Y
Wood, vinyl, or aluminum siding *Fiberon-5" wide composite wood planks proposed	10% Max	South Elevation	13.2%	N	North Elevation	23.2%	N
		East Elevation	8.2%	Y	West Elevation	18.8%	N

- Meets Requirements? – **TBD**
- Comments –
- Building materials –Fiberon is a composite wood product in 5" wide planks. This product is not specifically listed in the Materials Schedule, however it could be considered similar to the products listed under the category of "Wood, vinyl, or aluminum siding". Siding is limited to a maximum of 10% coverage on any façade. The north, south, and west facades exceed the 10% maximum and the applicant has submitted an architectural waiver request to exceed the maximum coverage. **The Planning Commission is to consider the architectural waiver request to exceed 10% coverage on the north, south, and west facades.**

Pedestrian Access (Per the approved Pattern Book)

- Required – 7' sidewalk where adjacent to parking spaces and 5' sidewalk elsewhere; sidewalks required on all sides of the building where adjacent to parking.
- Proposed – a sidewalk is provided along east side of the building, adjacent to parking, and varies in width from 6'-8" to 7'-4".
- Requirements Met? – Yes
- Comments – (none)

Other Comments:

- Roof appurtenances – All rooftop equipment is to be screened behind the proposed parapet walls, per Sheet A-200 and A-201(revised elevations, PDF version only).
- Transformer (north side of building) – screening of a transformer is required. The plan shows two ornamental trees on the north side of the transformer which provides some screening. Screening of the east and north sides of the transformer with landscaping is difficult due to spatial constraints and bike racks (east of transformer).
- Bike Racks – Bike racks are provided north and east of the building and adjacent to parking.
- Ground Sign – A monument sign is not shown on the plans. The Pattern Book provides design standards for a monument sign regarding size, height and type of building

Attachment: SP 19-002 Panda Express staff report 02.07.2019 (2978 : Site Plan #19-002, Panda Express)

materials (Page 27A of the Pattern Book). A monument sign, if proposed, will be reviewed as part of a sign permit application.

- Wall Sign – Wall sign standards are provided in the PD Agreement (Section 6.6). Signs will be reviewed as part of a sign permit application.

Hartland Township DPW Review

Please see the review letter from the Hartland Township DPW Director dated February 4, 2019. DPW approves the final plans subject to the contingencies noted in his letter.

Township Engineer's Review

Please see the review letter from Hubbell, Roth, and Clark (HRC) dated January 19, 2019 (attached). The Engineer recommends site plan approval subject to some items being addressed on the construction plans which they will review following site plan approval.

Hartland Deerfield Fire Authority Review

Please see the review letter from the Fire Marshal's office dated January 23, 2019 (attached). The Fire Authority recommends approval with some changes, as outlined in the letter.

Recommended Motion for Site Plan Application #19-002 (Construct Panda Express)

The Planning Department recommends the following motion to approve Site Plan #19-002:

Move to approve Site Plan Application #19-002 a request to amend the previously approved plans for Hartland Towne Square Planned Development, to construct an approximate 2,300 square foot Panda Express restaurant with one drive-through window, including approval of the architectural and lighting waiver requests, with the following conditions:

1. The applicant shall adequately address the outstanding items noted in the Planning Department's memorandum, dated February 7, 2019, on the Construction Plan set, subject to an administrative review by the Planning staff prior to the issuance of a land use permit.
2. The applicant shall change the building materials of the dumpster enclosure to match the building elevations. Revised plans shall be submitted as part of a land use permit.
3. The applicant shall eliminate the proposed stone in the landscape beds and replace it with either lawn, mulch, or another acceptable material. Revised plans shall be submitted as part of a land use permit.
4. Applicant complies with any requirements of the Department of Public Works Director, Township Engineering Consultant, and Hartland Deerfield Fire Authority Fire Marshal.
5. *(Any other conditions the Planning Commission deems necessary)*

Recommended Motion for Site Plan Application #19-002 (7th Amendment to Hartland Towne Square Planned Development Agreement and Amendment to the Pattern Book)

The Planning Department recommends the following motion to recommend approval of an amendment to the PD Agreement:

The Planning Commission recommends to the Township Board, to approve Site Plan Application #19-002, a request to amend the previously approved plans for Hartland Towne Square Planned Development, to permit up to three (3) drive-through restaurants in the Hartland Towne Square Planned Development (PD) and a total of eight (8) drive-through businesses, with the following conditions:

Attachment: SP 19-002 Panda Express staff report 02.07.2019 (2978 : Site Plan #19-002, Panda Express)

1. The Planning Commission has determined the proposed amendments to permit an additional drive-through restaurants/business within the Hartland Towne Square Planned Development (PD), would still be consistent with the original intent to limit the number of drive-through businesses within this development.
2. The Planning Commission has determined that the amendment will promote an additional restaurant development within the PD that is desirable and a good fit for the community and will add to the overall appeal of the Planned Development.
3. The Planning Commission has determined that the proposed amendment will permit a restaurant business that will help contribute to the needs and desires of the entire community.

Approval is subject to the following condition:

1. Prior to any future development in the Hartland Towne Square Planned Development, the developer shall establish adequate standards to ensure for the long-term maintenance and repair of Hartland Square Drive and Rovey Drive, subject to acceptance by the Township Attorney.

Attachments:

1. Hartland Township DPW, Review letter dated February 4, 2019
2. Hartland Township Engineer (HRC), Review letter dated January 19, 2019
3. Hartland Deerfield Fire Authority, Review letter dated January 23, 2019
4. Amendment Request, dated February 1, 2019
5. 7th PD Amendment Hartland Towne Square
6. Waiver Request dated February 5, 2019
7. Specification Sheet for Wall Sconce-PDF version provided
8. Sheet A-200 Exterior Elevations (N, S)-PDF version provided
9. Sheet A-201 Exterior Elevations (E, W)-PDF version provided
10. Sheet A-203 Façade Materials Summary-PDF version provided
11. Revised Landscape Plan dated February 5, 2019-PDF version provided
12. 2008 Final Plans for Outlot #8, Hartland Towne Square PD-PDF version provided
13. Hartland Towne Square Pattern Book dated February 7, 2017-PDF version provided
14. Panda Express Plans dated January 7, 2019
15. Rovey Drive Survey-PDF version provided
16. Hartland Square Drive Survey-PDF version provided

CC:

Ross Gallentine
Ramco Hartland TRS, Inc.

Amy Conti
Norr

HRC, Twp Engineer (via email)
R. West, Twp DPW Director (via email)
A. Carroll, Hartland FD Fire Chief (via email)



Robert M. West, Public Works Director
2655 Clark Road
Hartland MI 48353
Phone: (810) 632-7498

TO: Planning Department
DATE: 02/04/2019
DEVELOPMENT NAME: Proposed Panda Express (Outlet 8)
PIN#: Highland Road (M-59), (Tax Parcel ID #4708-21-400-074)
REVIEW TYPE: Site Plan

Site Plans for the proposed Panda Express facility requires seven (7) REUs of water and sewer each respectively.

	Sewer REUs	Water REUs
Owned	0	0
Required	7	7
Cost Each	\$9,439.20	\$5,816.01
Total Due Each	\$66,074.40	\$40,712.07
TOTAL REU COST	\$106,786.47	

Public Works approves the above plans subject to applicant securing the required Livingston County permits and the inclusion of the following details:

1. Water main material, sizes and connection detail sheet.
2. Water service lead location, size and materials including fittings.
3. Sanitary sewer material and sizes and connection detail sheet.
4. Monitoring manhole for sewer connection and location.
5. Hydrant model #EJ5BR shown on plans.
6. Utility easements noted as public and related master deeds amended to reflect said easements.
7. A note stating the water main will be looped at a future date.
8. The applicant must submit the required paperwork for a Non-Domestic/Industrial Discharge Permit (IPP) to the Genesee County Drain Commissioner's Office – Water & Waste Services.
9. All existing utility infrastructure within the development envelope will be required to be upgraded to the current design and engineering standards.
10. Digital as-built plans must be submitted upon completion of the project.
11. GIS utility files must be submitted to the Township upon completion of the project.

Please feel free to contact me with any further questions or comments regarding this matter, and thank you for your time.

Robert M. West
Public Works Director

Attachment: 1. Hartland DPW Review Letter dated February 4, 2019 (2978 : Site Plan #19-002, Panda Express)

**PRINCIPALS**

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 Melissa A. Coatta
 Michael P. Darga
 Brian K. Davies
 Matthew G. Slicker
 James J. Surhigh
 Trevor S. Wagenmaker

HUBBELL, ROTH & CLARK, INC.

STREET: 105 W. Grand River
 Howell, MI 48843

PHONE: 517-552-9199

WEBSITE: hrcengr.com

OTHER OFFICE LOCATIONS

Bloomfield Hills
 Delhi Township
 Detroit
 Grand Rapids
 Jackson
 Kalamazoo
 Lansing

January 19, 2019

Hartland Township
 2655 Clark Road
 Hartland, MI 48353

Attn: Mr. Troy Langer, Planning Director

Re: Preliminary Site Plan Review
 Panda Express
 Section 21, Hartland Township

HRC Job No. 20190071.20

Dear Mr. Langer:

As requested, this office has reviewed the plans for the above project as prepared by Atwell Group (plans dated January 7, 2019). The following items will need to be addressed:

General

1. All permits are to be obtained prior to the start of construction. At this time, the permits for this development may include: Livingston County Building & Utility Services, LCDC Soil Erosion, and Hartland Township Water and Sanitary Sewer Service.

Water Supply

1. All proposed water supply improvements must be designed in accordance with Hartland Township Engineering Design Standards.
2. It appears that only a water service is proposed for this development and that no new fire hydrants are proposed. The proposed firefighting ability of the site will require the review and approval of the Hartland Deerfield Fire Authority. Additional water main and fire hydrant coverage may be required.

Sanitary Sewer

1. All proposed sanitary sewer lead improvements must be designed in accordance with the current standards of the Livingston County Drain Commissioner's Office and will require their review and permitting.

Storm Drainage

1. The proposed storm water collection system must be designed in accordance with Hartland Township Engineering Design Standards.
2. Storm water detention for this site has been accounted for in the construction of the Hartland Towne Square development.

Attachment: 2. Hartland Township Engineer (HRC) Review Letter dated January 19, 2019 (2978 : Site Plan #19-002, Panda Express)

Mr. Troy Langer, Planning Director
Panda Express
January 19, 2019
HRC Job Number 20190071.20
Page 2 of 2

Paving & Grading

1. The proposed paving and grading improvements must be designed in accordance with Hartland Township Engineering Design Standards.
2. Include a proposed pavement cross-section on the plans in accordance with Township Standards.

Subject to these items being addressed in the construction plans, we have no objection to the approval of the preliminary site plan. One (1) complete set of the construction plans should be submitted to the Township Planning Department for review.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.


Michael P. Darga, P.E.

MPD/mpd

pc: Hartland Twp; B. West
Atwell; M. McPherson
HRC; R. Alix, File



FIRE MARSHALS OFFICE

Hartland Area Fire Dept.
3205 Hartland Road
Hartland, MI. 48353-1825

Voice: (810) 632-7676
Fax: (810) 632-2176

E-Mail: jwhitbeck@hartlandareafire.com

January 23, 2019

TO: Planning Commission
Attn: Zoning Department
Hartland Township
2655 Clark Road
Hartland, MI 48353

RE: Panda Express's request for Site Plan.

We have reviewed the conceptual layout plans for the above project as prepared by NORR Architects, Engineers & Planners Atwell Group (plans dated January 7, 2019, received by the Township on January 11, 2019). We have the following comments:

1. An address visible from the center of Hartland Square Drive right-of-way. (**Ordinance #77-505.1**)
2. All emergency lighting shall be on dedicated circuit(s) so they may be tested without disrupting business. The circuit(s) shall be labeled in the breaker box(es). (**AHJ Requirement**)
3. A fire alarm system is required for this building.
4. Duct Detectors shall report as a **supervisory** or **trouble**
5. A strobe or horn strobe shall be located on the exterior of the building, and visible from the centerline of Hartland Square Drive. (**AHJ Requirements**)
6. A remote enunciation sub panel shall be located at the main entrance of the building if the main panel is not easily accessible. (**AHJ Requirement**)
7. A Supra brand lock box to be installed prior to obtaining the certificate of occupancy from Livingston County Building Department. An order form has been attached with this review. (**Hartland Township Ordinance #77-506.1.1**)
8. A LadderPort™ Ladder Receiver (Type 1, Type 2, Type3 or Type 4) to be installed for equipment and/or appliances are installed on the roof top, on the North facing side of the occupancy with year round accessibility by ground ladders. A catalog and order form has been attached with this review. (**MBC 306.5 & Hartland Twp. Ordinance #77-504.1.1**)
9. Plans for Commercial Hood Suppression Systems (if applicable) shall be submitted to our third party reviewer, Brighton Fire Dept. and reviewed. Once reviewed the prints will be available for pick-up and taken to the Livingston County Building Department so a permit can be pulled. *NOTE: UL 300 system tests will be conducted using a "wet test" using an agent recommended by the manufacturer. (**Hartland Twp. Ordinance #77-105.7.1.1**)
10. Service drives shall meet 33,000lbs per axle. Weight and turning radius performance cut sheet for our most restrictive apparatus has been attached with this review. Please see that all turning radiuses and clearances are met. (**County and Local Requirement**)
11. Locations and quantities of Hazardous Materials (if any) shall be included. An HMIS form is included with this letter. (**AHJ Requirement**)

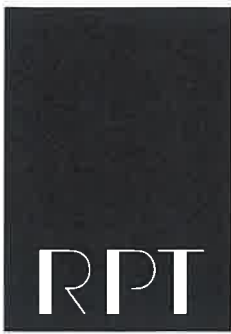
Attachment: 3. Hartland Deerfield Fire Authority Review Letter dated January 23, 2019 (2978 : Site Plan #19-002, Panda Express)

12. A Contact Sheet and a map of the occupancy shall be filled out and provided to the AHJ along with a key to be kept inside the Rapid Entry box on the building. **(AHJ Requirement)**
13. A site inspection upon completion is required before calling in for Certificate of Occupancy **(Zoning Ordinance Requirement)**

The Fire Marshals Office approves with the above contingencies the submittal. Any revised drawings affecting the Fire Department must be submitted for review.

Yours In Fire Safety,

Jenn Whitbeck
Fire Inspector



31500 Northwestern Highway
Suite 300
Farmington Hills, MI 48334
248 350 9900
www.rptrealty.com

NYSE:RPT

February 1, 2019

Troy Langer
Hartland Township
2655 Clark Road
Hartland, MI 48353

VIA EMAIL tlanger@hartlandtwp.com

RE: Amendment to Hartland RAMCO Planned Development Agreement pertaining to Panda Express –
Hartland Towne Square (4708-21-400-074)

Dear Troy,

Ramco RM Hartland SC LLC, property owner of the above referenced parcel, would like to request an amendment to the Hartland RAMCO Planned Development Agreement to permit a third restaurant with a drive through window as well as permit a total of eight (8) businesses with drive-through windows in the planned development for the benefit of Panda Express.

I may be reached at (248) 592-6326 with any questions and/or concerns, otherwise I look forward to your response.

Sincerely,

Ross S. Gallentine
Director of Construction

RSG/az

Attachment: 4. Amendment Request dated February 1, 2019 (2978 : Site Plan #19-002, Panda Express)

SEVENTH AMENDMENT TO PLANNED DEVELOPMENT AGREEMENT

RAMCO HARTLAND

THIS SEVENTH AMENDMENT (“Seventh Amendment”) is made this ____ day of _____, 20__, by and among **TOWNSHIP OF HARTLAND**, a Michigan municipal corporation ("Township"), 2655 Clark Road, Hartland, Michigan 48353, **RAMCO RM HARTLAND SC LLC**, and **RAMCO RM HARTLAND DISPOSITION LLC**, Delaware limited liability companies (the two latter entities are collectively referred to as “Ramco”), with offices at 31500 Northwestern Highway, Suite 300, Farmington Hills, Michigan 48334, and **MEIJER REALTY COMPANY**, a Michigan corporation ("Meijer"), whose mailing address is 2929 Walker Avenue, N.W., Grand Rapids, Michigan 49544.

RECITALS:

- A. On March 28, 2008, the Township and Ramco’s predecessor in interest RAMCO HARTLAND, LLC (“Ramco Hartland”) entered into a Planned Development Agreement (the "Agreement") for the development of real property located in Hartland Township, Livingston County, Michigan (the "Land"), known as the Hartland Towne Square Shopping Center (the “Development”). The Land is further described in Exhibit A attached hereto and made a part of this Seventh Amendment.
- B. The Agreement was recorded as Instrument No. 2008R-011710, Livingston County Records, on April 10, 2008, and the Agreement has since been amended by six (6) separate amendments, all of which have been recorded in the Livingston County Records (as used herein, the term Agreement shall include all such six (6) amendments).
- C. Ramco, Township and Meijer are the current parties to the Agreement.
- D. The purpose of this Seventh Amendment is to amend the text of paragraph 3.1.16 to permit one additional drive through for a restaurant, to amend and supplement the Final Plan for the Development to allow for such and incorporate each of the site plan attached hereto as Exhibit B and the plan sheet page attached hereto as Exhibit C into the Pattern Book and the Final Plan.

NOW, THEREFORE, it is hereby agreed as follows:

1. Capitalized terms used in this Seventh Amendment that are not defined herein shall have the meanings given to them in the Agreement.

2. Paragraph 3.1.16 of the Agreement provides as follows:

“Drive through service shall be permitted for up to seven establishments within the Development including one drive through for Major A, one for Major B, two for non-restaurant uses, two for restaurants and one drive through for a bagel, donut or coffee shop.”

3. Upon execution and recording of this Seventh Amendment of the Agreement, the original Paragraph 3.1.16 will be superseded and amended as follows:

“Drive through service shall be permitted for up to eight establishments within the Development including one drive through for Major A, one for Major B, two for non-restaurant uses, three for restaurants and one drive through for a bagel, donut or coffee shop.”

4. In the event of any conflict between the terms of the Agreement and this Amendment, the terms of this Amendment shall govern and control. This Seventh Amendment to the Agreement shall be recorded with the Livingston County Register of Deeds.

IN WITNESS WHEREOF, the parties have caused this Seventh Amendment to be executed and delivered on the day and year first above written.

[SIGNATURES ON THE FOLLOWING PAGES]

TOWNSHIP OF HARTLAND

By: _____
William J. Fountain
Its: Supervisor

STATE OF MICHIGAN)
) ss.
COUNTY OF LIVINGSTON)

The foregoing instrument was acknowledged before me this ____ day of _____, 20__, by William J. Fountain the Supervisor of the Township of Hartland, on behalf of the Township.

Print Name: _____
Notary Public, State of _____,
County of _____
My Commission Expires: _____
Acting in the County of _____

Attachment: 5. 7th PD amendment Hartland Towne Square (2978 : Site Plan #19-002, Panda Express)

RAMCO RM HARTLAND DISPOSITION LLC,
a Delaware limited liability company

By: _____
Name: _____
Its: _____

STATE OF MICHIGAN)
) ss.
COUNTY OF OAKLAND)

The foregoing instrument was acknowledged before me this ____ day of _____,
20__, by _____ the _____ of Ramco RM
Hartland Disposition LLC, a Delaware limited liability company, on behalf of the company.

Print Name: _____
Notary Public, State of _____,
County of _____
My Commission Expires: _____
Acting in the County of _____

Attachment: 5. 7th PD amendment Hartland Towne Square (2978 : Site Plan #19-002, Panda Express)

RAMCO RM HARTLAND SC LLC,
a Delaware limited liability company

By: _____
Name: _____
Its: _____

STATE OF MICHIGAN)
) ss.
COUNTY OF OAKLAND)

The foregoing instrument was acknowledged before me this ____ day of _____,
20__, by _____ the _____ of Ramco RM
Hartland SC LLC, a Delaware limited liability company, on behalf of the company.

Print Name: _____
Notary Public, State of _____,
County of _____
My Commission Expires: _____
Acting in the County of _____

Attachment: 5. 7th PD amendment Hartland Towne Square (2978 : Site Plan #19-002, Panda Express)

MEIJER REALTY COMPANY,
a Michigan corporation

By: _____
Name: _____
Its: _____

"Meijer"

STATE OF MICHIGAN)
) SS
COUNTY OF _____)

The foregoing was acknowledged before me this ____ day of _____, 20__, by _____, the _____ of Meijer Realty Company, a Michigan corporation, on behalf of the corporation.

Print Name: _____
Notary Public, State of _____
County of _____
My Commission Expires: _____
Acting in the County of _____

Prepared by and when recorded return to:

EXHIBIT A

Land Description

LEGAL DESCRIPTION:

HARTLAND TOWNE SQUARE
 Combined Properties
 As surveyed by Professional Engineering Associates, Inc.

Part of the South 1/2 of Section 21, T3N, R6E, Hartland Township, Livingston County, Michigan, being more particularly described as:

Commencing at the South 1/4 corner of Section 21, T3N, R6E, Hartland Township, Livingston County, Michigan; thence N 02°55'00" W 214.93 feet along the North-South 1/4 line of Section 21 (as monumented); thence N 80°05'11" E 529.37 feet along the Northerly Right-of-Way of Highland Road (M-59) to the POINT OF BEGINNING; thence along the easterly line of US-23 the following five courses: 1) N 66°13'25" W 108.17 feet; 2) S 80°05'11" W 158.31 feet; (3) 136.40 feet along the arc of a curve to the left, said curve having a radius of 346.97 feet, a central angle of 22°31'25", a chord bearing of N 29°06'21" W, 135.52 feet; (4) N 40°22'05" W 692.64 feet; (5) 604.40 feet along the arc of a curve to the right, said curve having a radius of 1944.86 feet, a central angle of 17°48'21", a chord bearing of N 31°27'55" W, 601.97 feet; thence 189.31 feet along the arc of a curve to the left being along the southerly line of the proposed relocated Hartland Road, said curve having a radius of 235.50 feet, a central angle of 46°03'32", a chord bearing of S 47°25'28" E, 184.26 feet; thence 304.65 feet along the arc of a curve to the right, said curve having a radius of 1874.86 feet, a central angle of 09°18'36", with a chord bearing of N 23°01'23" W, 304.31 feet, being along the east line of the existing Hartland Road (70' wide); thence continuing along said easterly line of Hartland Road N 18°22'05" W 647.71 feet; thence N 89°09'29" E 1103.52 feet; thence N 44°09'29" E 30.85 feet; thence N 89°09'29" E 817.53 feet to the West line of the Northeast 1/4 of the Southeast 1/4 of Section 21; thence along said West line N 02°54'15" W 27.13 feet to the South line of the North 363 feet of the Northeast 1/4 of the Southeast 1/4 of Section 21; thence along said South line, N 88°38'34" E 500.24 feet; thence S 42°14'57" W 473.50 feet; thence S 02°45'03" E 219.15 feet; thence S 19°29'17" E 215.48 feet; thence S 34°19'18" E 247.80 feet to the North line of the South 1/2 of the Southeast 1/4 of Section 21; thence S 88°50'36" W 191.66 feet; thence S 02°44'28" E 422.76 feet; thence N 80°04'36" E 450.00 feet; thence S 61°23'57" E 172.19 feet; thence N 75°35'36" E 553.03 feet to the East line of Section 21 and the centerline of Clark Road (66 ft. wide); thence S 02°53'39" E 297.56 feet along the East line of said Section 21 to the north line of Highland Road (M-59); thence along the North line of said M-59 S 80°04'54" W 12.10 feet; thence 440.14 feet along a curve to the left, said curve having a radius of 3879.72 feet, a central angle of 06°30'00", a chord bearing of S 76°49'54" W, 439.90 feet; thence S 73°34'54" W 252.78 feet; thence 151.87 feet along a curve to the right, said curve having a radius of 5669.58 feet, a central angle of 01°32'05", a chord bearing of S 74°20'56" W, 151.87 feet; thence N 02°44'28" W 360.82 feet; thence S 80°04'36" W 300.00 feet to the East line of the West 5 acres of the Southeast 1/4 of the Southeast 1/4 of Section 21; thence S 88°56'11" W 145.63 feet; thence S 42°15'32" W 76.95 feet; thence S 02°44'28" E 375.42 feet to the northerly line of Highland Road (M-59); thence S 80°05'11" W 737.24 feet to the POINT OF BEGINNING. Containing 84.59 acres.



February 5, 2019

Hartland Township
2655 Clark Rd, Hartland MI 48353

Attn.: Troy Langer and Martha Wyatt

**Re: Panda Express Restaurant
D6628
Waiver Request**

Dear Mr. Troy Langer and Ms. Martha Wyatt,

This letter is to request the following waivers to the Hartland Township Pattern Book for the proposed Panda Express Restaurant:

- River stone mulch in lieu of shredded hardwood mulch.
- Allowance of Fiberon on the building facades. Fiberon is a 5" wide composite wood plank. Percentage of Fiberon, over 10%, consists of the following elevations; north (23.3%), south (13.2%), and west (18.8%) facades.

We appreciate your consideration.

Sincerely,

Amy Conti, RA, LEED AP
Studio Manager
Tel: 313 324 3129 | Cell: 248 924 4309 | Amy.Conti@norr.com

Attachment: 6. Waiver Request dated February 5, 2019 (2978 : Site Plan #19-002, Panda Express)

Atlantis Outdoor Wall Sconce

By Hinkley Lighting

Product Options

Finish: Bronze with Tempered Glass, Satin Black with Etched Glass, Satin White with Etched Glass, Titanium with Tempered Glass

Size: Small, Large

Light Option: Incandescent, LED

Details

- Material: Extruded aluminum body with Etched glass lens
- Wall plate
- Integrated transformer
- ADA compliant
- UL Listed Wet
- Made In China

Dimensions

Large Option Fixture Width 9", Height 24", Depth 4":

Large Option Plate Width 4.5":

Small Option Fixture Width 6", Height 16", Depth 3.5":

Small Option Plate Width 4.5":

Lighting

- Small Option: 6 Watt (250 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 2700K Lifespan: 60000 hours
- Small Option: Two 20 Watt (600 Lumens) 12 Volt GU5.3 Bi-Pin Base Halogen Lamp(s) (Included)
- Large Option: 6 Watt (250 Lumens) 120 Volt Integrated LED: CRI: 90 Color Temp: 2700K Lifespan: 60000 hours
- Large Option: Two 20 Watt (600 Lumens) 12 Volt GU5.3 Bi-Pin Base Halogen Lamp(s) (Included)

Additional Details

Product URL:

<http://www.lumens.com/atlantis-outdoor-wall-sconce-by-hinkley-lighting-uu303698.html>

Rating: UL Listed Wet

Product ID: uu303698

Prepared by:

Prepared for:

Project:

Room:

Placement:

Approval:

Created February 17th, 2017



Shown in Bronze with Tempered Glass

Notes:





PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8286

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

ISSUE DATE:
PLANNING COMMISSION 01-11-2019

DRAWN BY: CSW

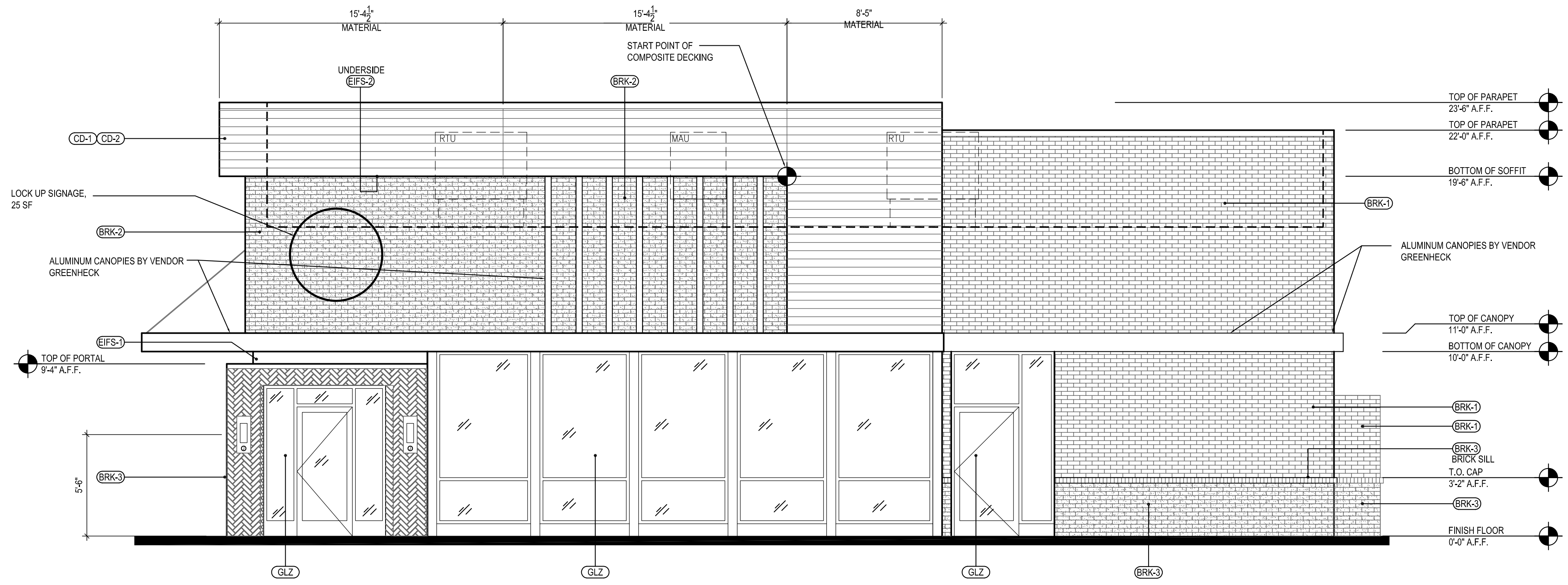
PANDA PROJECT #: S8-19-D6628
ARCH PROJECT #: JCOT18-0182



PANDA EXPRESS
TRUE WARM & WELCOME 2200
Hartland Square Rd. (US-23 & M-59)
HARTLAND, MI 48353

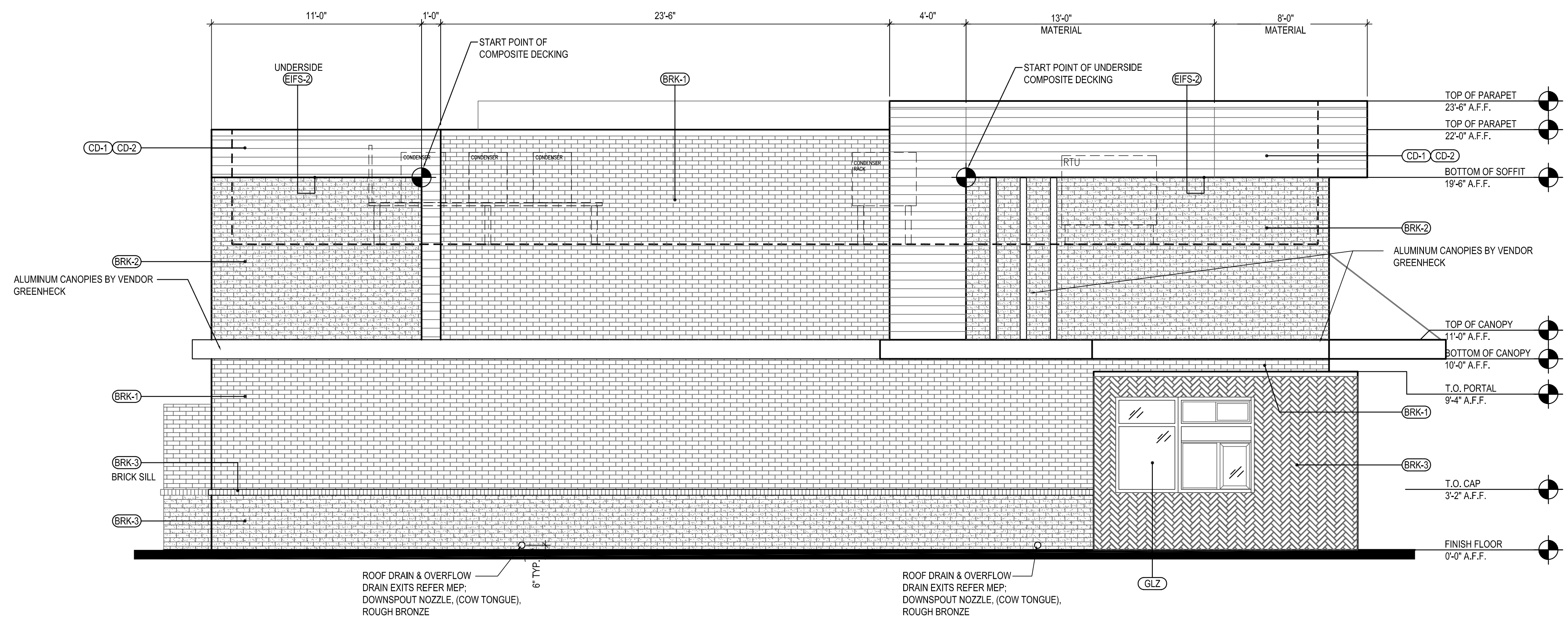
A-201

EXTERIOR ELEVATIONS



*SEE SHEET A-200 FOR EXTERIOR FINISH SCHEDULE

EAST ELEVATION 2
Scale= 1/4" = 1'-0" A-201



WEST ELEVATION 1
Scale= 1/4" = 1'-0" A-201



PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:

NO.	DATE

DRAWN BY: AC

PANDA PROJECT #: S8-19-D6628
ARCH PROJECT #: JCDT180182



PANDA EXPRESS
TRUE WARM & WELCOME 2300
HARTLAND SQUARE ROAD US-23 & M-59
HARTLAND, MI 48353

A-203

MATERIAL AREAS

LEGEND	
BRICK BASE	
BRICK (DARK)	
BRICK (LIGHT)	
GLAZING	
FIBERON	
METAL	

TOTAL EAST ELEVATION AREA: 4,544sf

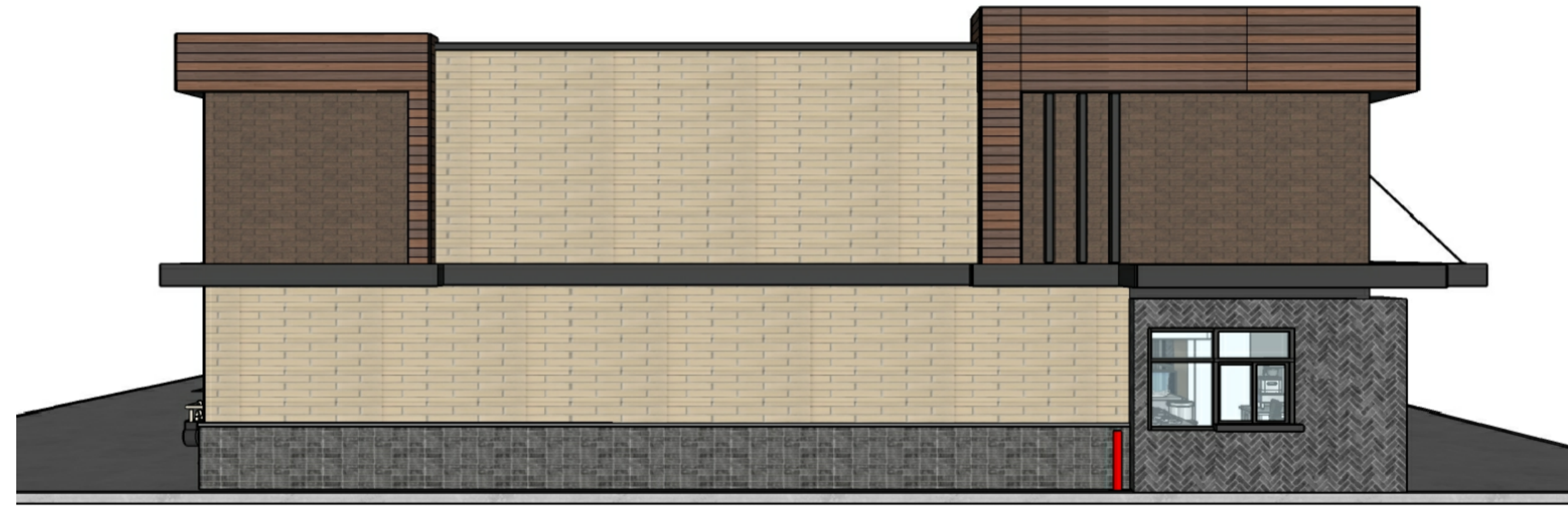
MATERIAL	AREA	COVERAGE
BRICK BASE	607 sf	13.3%
BRICK (DARK)	977 sf	21.5%
BRICK (LIGHT)	1428 sf	31.4%
GLAZING	516 sf	11.4%
FIBERON	748 sf	16.5%
METAL	268 sf	5.9%



TOTAL WEST ELEVATION AREA: 940sf

MATERIAL	AREA	COVERAGE
BRICK BASE	108 sf	11.5%
BRICK (DARK)	323 sf	34.4%
BRICK (LIGHT)	113 sf	12.0%
GLAZING	175 sf	18.6%
FIBERON	177 sf	18.8%
METAL	44 sf	4.7%

SOUTH ELEVATION 4
Scale= NTS A-203



TOTAL SOUTH ELEVATION AREA: 1,372sf

MATERIAL	AREA	COVERAGE
BRICK BASE	271 sf	19.7%
BRICK (DARK)	246 sf	17.9%
BRICK (LIGHT)	571 sf	41.6%
GLAZING	36 sf	2.7%
FIBERON	181 sf	13.2%
METAL	67 sf	4.9%

WEST ELEVATION 3
Scale= NTS A-203



TOTAL EAST ELEVATION AREA: 855sf

MATERIAL	AREA	COVERAGE
BRICK BASE	108 sf	12.6%
BRICK (DARK)	164 sf	19.2%
BRICK (LIGHT)	438 sf	51.2%
GLAZING	0 sf	0%
FIBERON	70sf	8.2%
METAL	75 sf	8.8%

EAST ELEVATION 2
Scale= 1/4" = NTS A-203

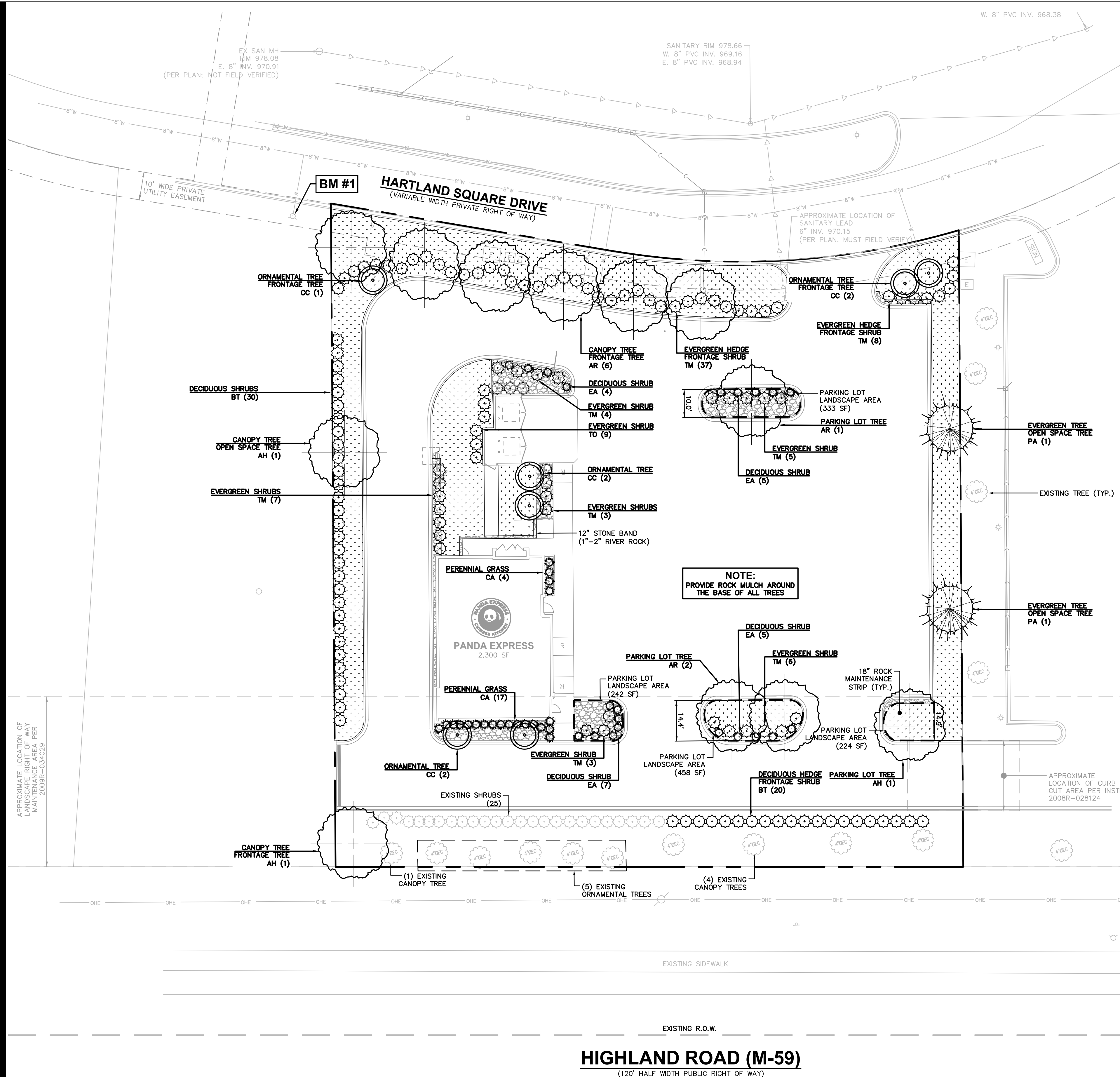


TOTAL NORTH ELEVATION AREA: 1,377sf

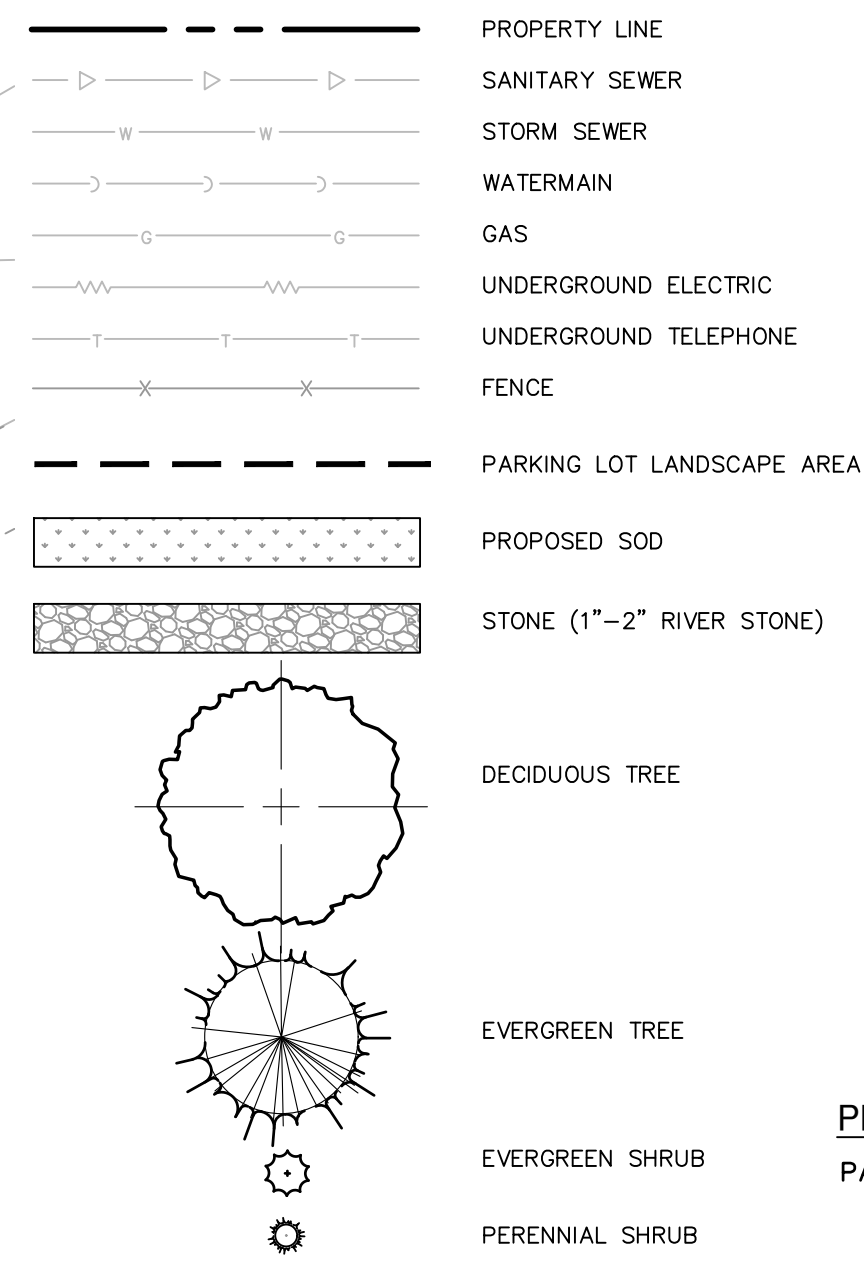
MATERIAL	AREA	COVERAGE
BRICK BASE	120 sf	8.7%
BRICK (DARK)	244sf	17.7%
BRICK (LIGHT)	306 sf	22.2%
GLAZING	305 sf	22.1%
FIBERON	320 sf	23.2%
METAL	82 sf	6.1%

NORTH ELEVATION 1
Scale= 1/4" = NTS A-203

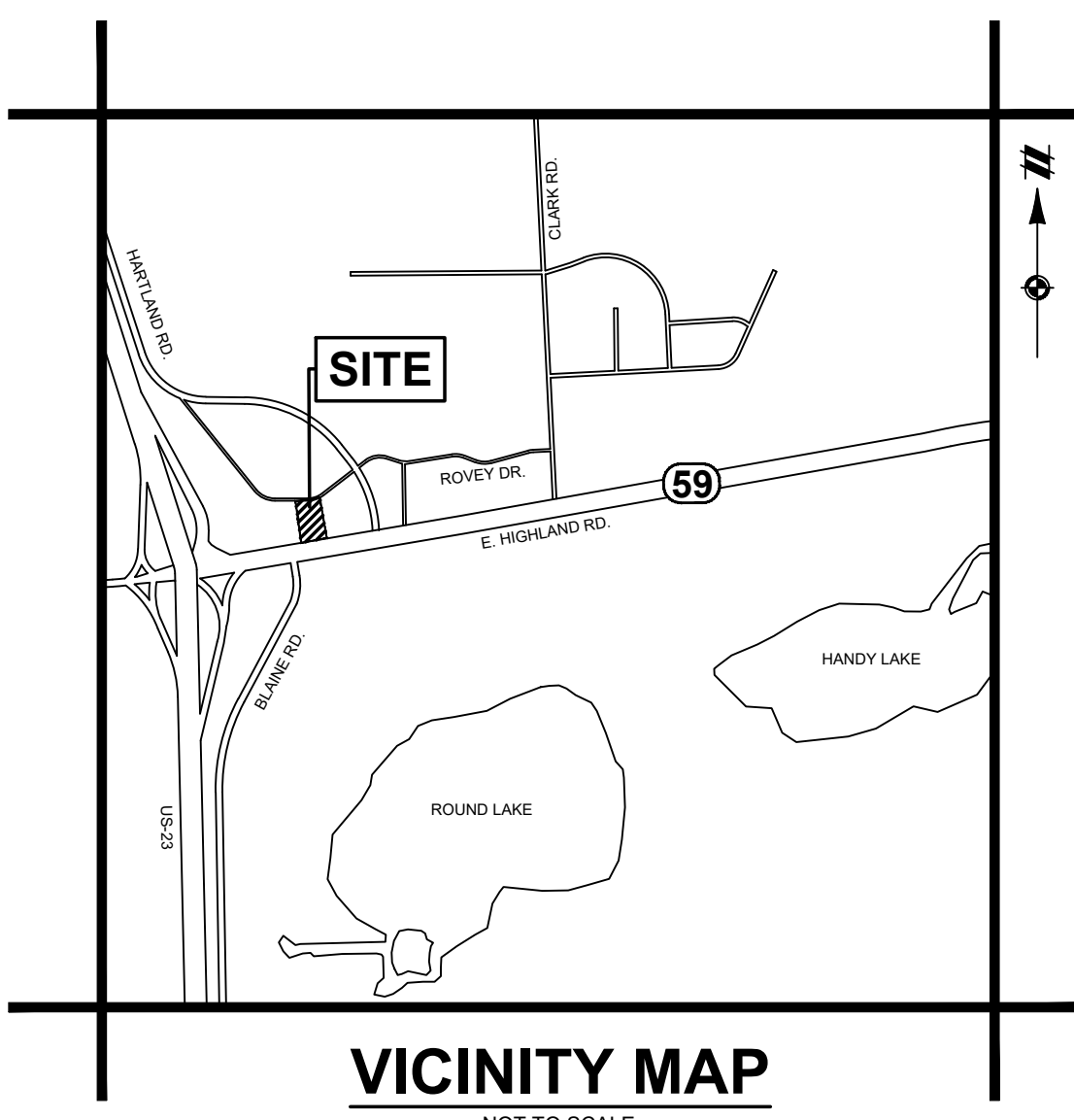
Attachment: 10 - Sheet A-203 Facade Materials Summary (2978) - Site Plan #19-002, Panda Express



LEGEND



PLANT KEY
 PA (3) ← PLANT QUANTITY
 ← PLANT KEY (REFER TO SCHEDULE)



LANDSCAPE REQUIREMENTS SUMMARY

ITEM	QTY PROVIDED	QTY REQUIRED	FORMULA
HARTLAND SQUARE FRONTAGE			
TREES	6 TREES	6 TREES	1/40 LF (227')
ORNAMENTAL TREES	3 TREES	3 TREES	1/80 LF (227')
SHRUBS	45 SHRUBS	45 SHRUBS	8/40 LF (227')
M-59(HIGHLAND ROAD) FRONTAGE			
TREES	4 TREES	6 TREES	1/40 LF (224')
ORNAMENTAL TREES	4 TREES	3 TREES	1/80 LF (224')
SHRUBS	45 SHRUBS	45 SHRUBS	8/40 LF (224')
RIGHT-OF-WAY BERM			
EXISTING BERM ON-SITE			
PARKING LOT			
PARKING LOT LANDSCAPE AREA	1,257 SF	420 SF	42 SPACES * 10 SF/SPACE
PARKING LOT TREES	4 TREES	4 TREES	1,244 SF/320 SF/TREE
OPEN SPACE LANDSCAPING			
OPEN SPACE TREES	3 TREES	3 TREES	1 TREE/3,000 SF (9,068 SF)

DECIDUOUS CANOPY TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AR 9		ACER RUBRUM 'AUTUMN BLAZE'	AUTUMN BLAZE RED MAPLE	3" CAL.	B & B
AH 3		CARPINUS CAROLINIANA	AMERICAN HORNBEAM	3" CAL.	B & B

DECIDUOUS ORNAMENTAL TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
CC 7		CERCIS CANADENSIS	EASTERN REDBUD	2.5" CAL.	B & B

EVERGREEN TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
PA 2		PICEA ABIES 'CUPRESSINA'	COLUMNAR NORWAY SPRUCE	8" HT.	B & B

SHRUB SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
BT 52		BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT.*	3 GAL
EA 21		EUONYMUS ALATA 'COMPACTA'	COMPACT EUONYMUS	24"	CONT.
TM 73		TAXUS X. MEDIA 'DENSIFORMIS'	DENSE YEW	24"	CONT.
TO 9		THUJA OCCIDENTAUS 'TECHNY'	TECHNY ARBORVITAE	5' HT.	B & B

*NOTE JAPANESE BARBERRY MUST BE 30" HEIGHT AT THE TIME OF PLANTING

PERENNIAL GRASS SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
CA 21		CALAMAGROSTIS ARUNDINACEA	'KARL FOERSTER'	2 GAL.	CONT.

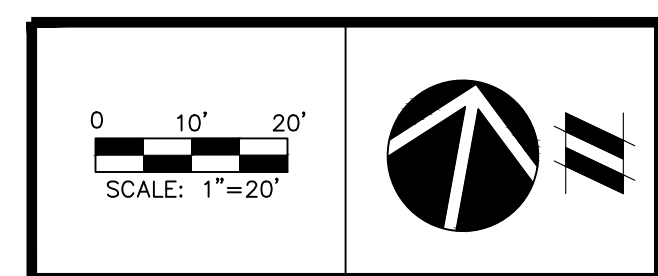
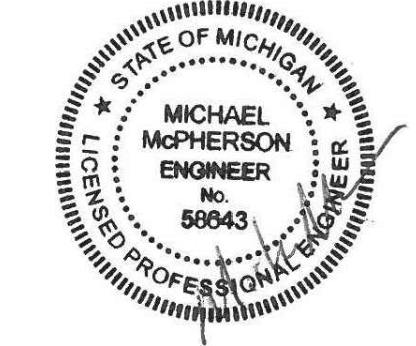
NOTES TO CONTRACTOR

- ALL DISEASED, DAMAGED, OR DEAD PLANTING MATERIALS SHALL BE REMOVED IN ACCORDANCE WITH STANDARDS OF THE HARTLAND TOWNSHIP ZONING ORDINANCE.
- ALL PLANTS SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL HAVE PASSED INSPECTIONS REQUIRED UNDER STATE REGULATIONS.
- SITE IRRIGATION TO BE PROVIDED FOR ALL PROPOSED LANDSCAPE IMPROVEMENT AREAS AND LAWN AREAS

SITE BENCHMARKS

BENCHMARK 1
 ARROW ON TOP OF FIRE HYDRANT 200± WEST OF ENTRANCE TO TACO BELL, SOUTH SIDE OF ROAD
 ELEVATION: 981.12' (NAVD88)

BENCHMARK 2
 ARROW ON TOP OF FIRE HYDRANT ON EAST SIDE OF ENTRANCE OF TACO BELL
 ELEVATION: 981.97' (NAVD88)



THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



PANDA RESTAURANT GROUP INC.
 1683 Walnut Grove Ave.
 Rosemead, California 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

All ideas, designs, arrangement and plans indicated or represented by this drawing are the property of Panda Express Inc. and were created for use on this specific project. None of these ideas, designs, arrangements or plans may be used by or disclosed to any person, firm, or corporation without the written permission of Panda Express Inc.

REVISIONS:

2-4-2019	REVISED LANDSCAPING
----------	---------------------

ISSUE DATE:

1-7-2019	SITE PLAN SUBMITTAL
----------	---------------------

DRAWN BY: EM

PANDA PROJECT #:
 ARCH PROJECT #:
 ENG PROJECT #: 18002058



PANDA EXPRESS

HARTLAND, MI

C05
LANDSCAPE PLAN

Development Area 'D'

Outlot #8
Outlot #9

Harland Square Drive (Private)

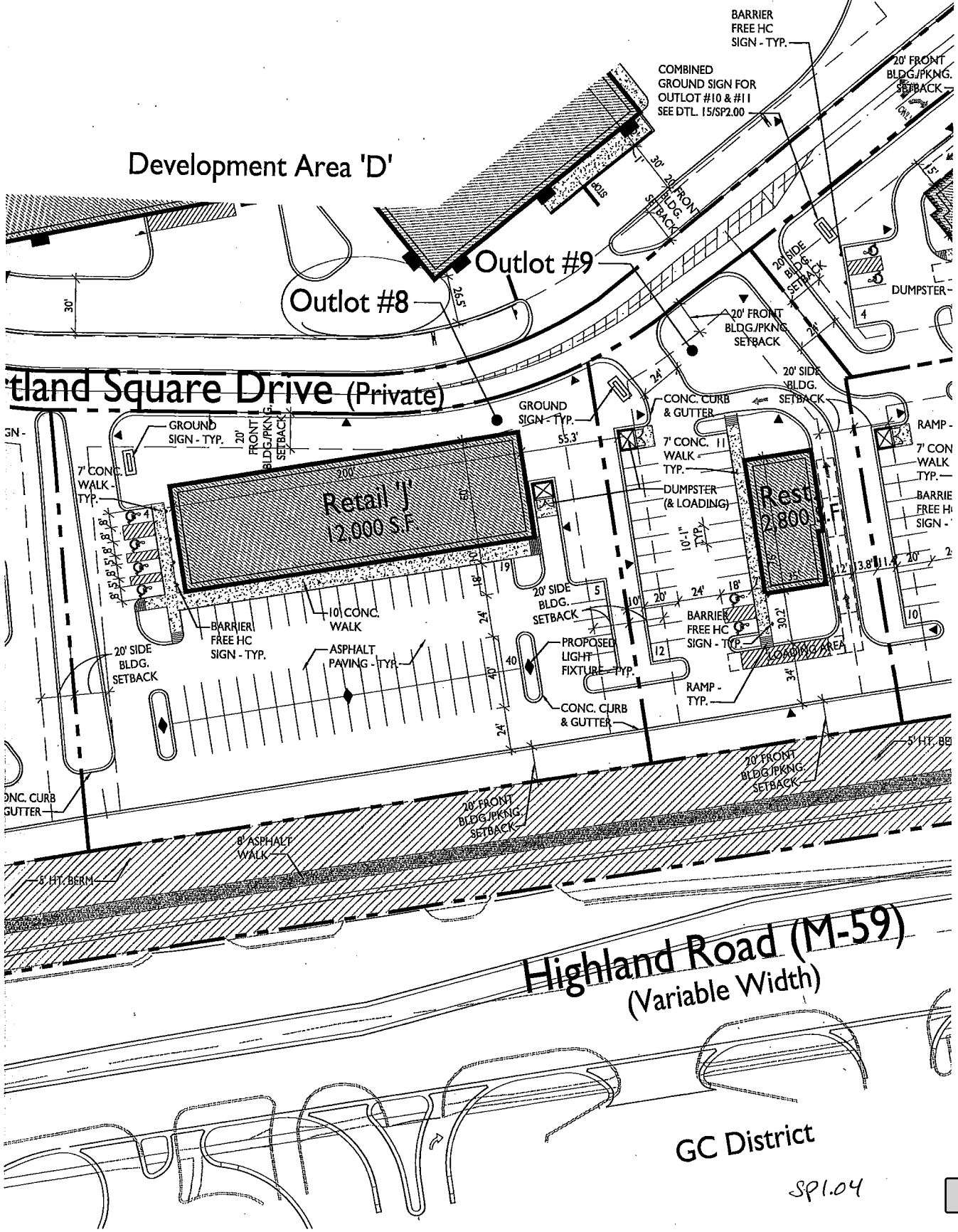
Retail #1
12,000 S.F.

Rest
2,800 S.F.

Highland Road (M-59)
(Variable Width)

GC District

SP1.04



Attachment: 12. 2008 Final Plans for Outlot #8, Harland Towne Square PD (2978 : Site Plan #19-002, Panda Express)

#7

Building Data

	2.00 Acres
	PD District
	Restaurant
back	20'
back	20'
	133'
	203'
back	20'
back	65'
	95'
	35'
ing Height	35'
Area	5,810 S.F.

→ Outlot #8

Site/ Building Data

Parcel Size	1.64 Acres
Existing Zoning	PD District
Proposed Use	Retail
Required Front Setback	20'
Proposed Front Setback	20'
	136'
Required Side Setback	20'
Proposed Side Setback	45.2'
	65'
Max. Building Height	35'
Proposed Max Building Height	35'
Proposed Building Area	12,000 S.F.

Parking Data

Parking Required per Ordinance:
 One (1) Space per 300 SF of GFA
 12,000 SF / 300 SF = 40 Spaces

Total Required = 40 Spaces
 Total Provided = 68 Spaces

Data

er Ordinance:
 as per 1,000 SF of UFA
 100 SF * 14 = 66 Spaces

6 Spaces
 0 Spaces

ll
 nt

PROPOSED LIGHT
 TURE - TYP.

Outlot #10

14'-0" CLEARANCE

PROPOSED LIGHT

Outlot #9

Site/ Building Data

Parcel Size	0.81 Acres
Existing Zoning	PD District
Proposed Use	Restaurant
Required Front Setback	20'
Proposed Front Setback	100'
	84.2'
Required Side Setback	20'
Proposed Side Setback	79'
	26.8'
Max. Building Height	35'
Proposed Max Building Height	35'
Proposed Building Area	2,800 S.F.

Parking Data

Parking Required per Ordinance:
 Fourteen (14) Spaces per 1,000 SF of UFA
 2,800 SF * 80% / 1,000 SF * 14 = 32 Spaces

Total Required = 31 Spaces

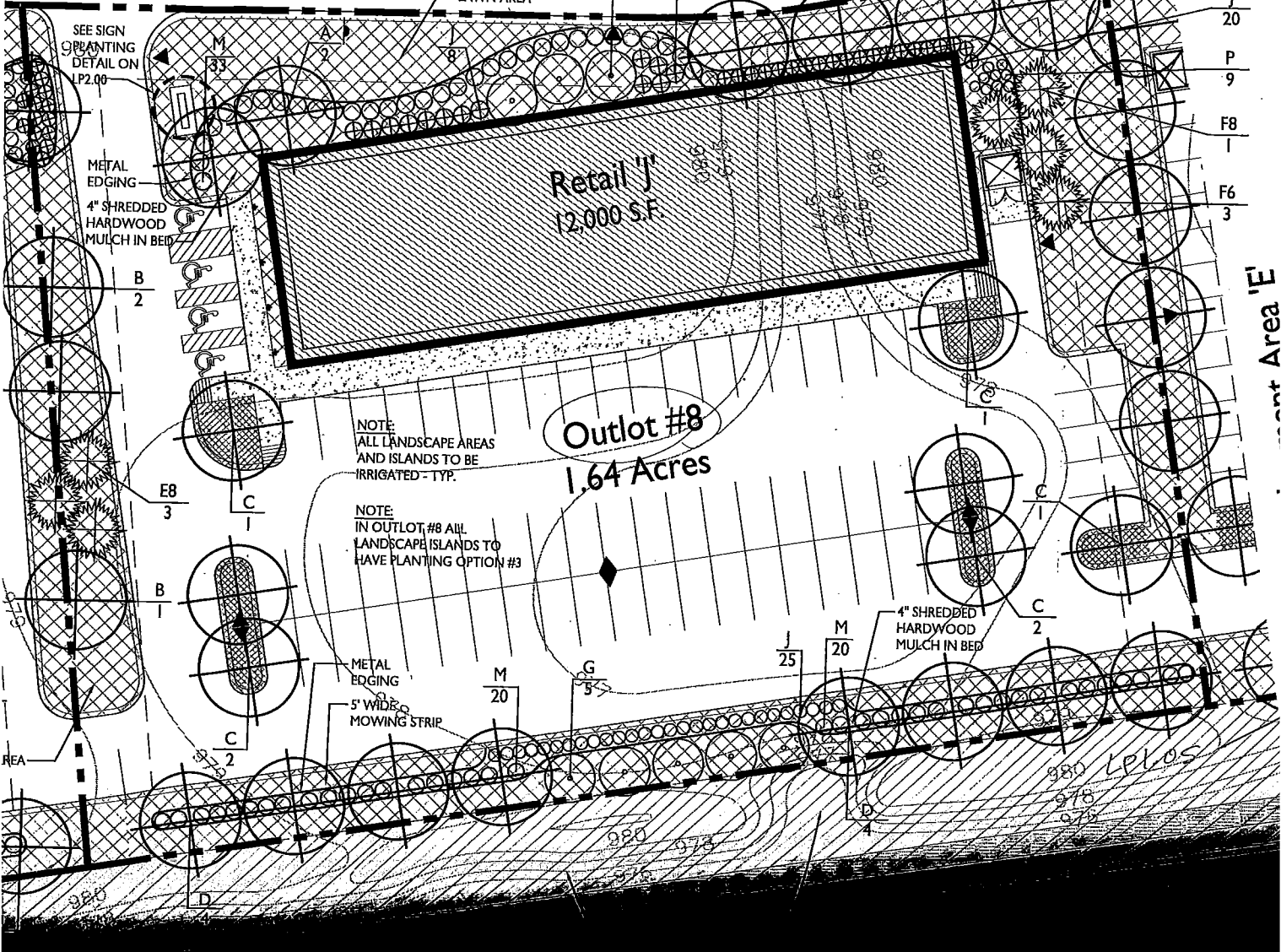
SP1.04

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Consultant + Name

TOWNE SQUARE

Hartland Square Drive



Attachment: 12. 2008 Final Plans for Outlot #8, Hartland Towne Square PD (2978 : Site Plan #19-002, Panda Express)

→ Landscape Requirements - Outlot #8

Adjacent to Roads

Required: One (1) Deciduous / Evergreen Tree per 40 LF / Road plus
One (1) Ornamental Tree per 80 LF / Road plus
Eight (8) shrubs per 40 LF / Road

312 LF / Hartland Square Drive Frontage =
312 LF / 40 LF = 8 Trees (Deciduous or Evergreen)
312 LF / 80 LF = 4 Ornamental Trees
312 LF / 40 LF x 8 = 63 Shrubs

322 LF / Highland Road (M-59) Frontage =
322 LF / 40 LF = 8 Trees (Deciduous or Evergreen)
322 LF / 80 LF = 4 Ornamental Trees
322 LF / 40 LF x 8 = 65 Shrubs


Berm Requirements

Required: Area adjacent to a public right-of-way (M-59) shall be required to have a berm. Berm shall be minimum of three feet (3') in height.

Provided: Berm (3' ht. min.) has been provided along M-59 except where prohibited due to vehicle sight distance as required by the Livingston County Road Commission.


Parking Lot Landscaping

Area Required: Ten (10) SF of Landscaped Area per Parking Space
68 Spaces x 10 SF = 680 SF
Total Required: 680 SF

Area Provided: 1,746 SF 

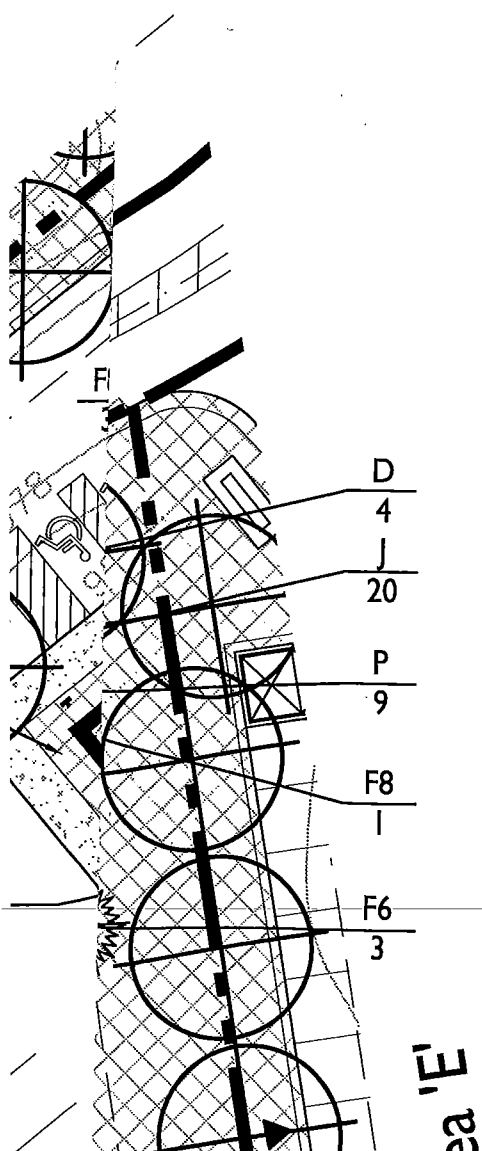
Vegetation Required: One (1) Tree per 320 SF / Area + 50% of the islands must be sod, shrubs , etc.
1,746 SF / 320 SF = 6Trees
Trees Required = 6 Trees

Open Space Landscaping

Area Required: One (1) Tree per 3,000 SF of Open Space
21,652 SF / 3,000 SF * (1) Tree = 8 Trees
Total Required: 8 Trees 

Total Required: 30 Deciduous/Evergreen Trees
8 Ornamental Trees
128 Shrubs

Total Provided: 31 Deciduous/Evergreen Trees
8 Ornamental Trees
140 Shrubs



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Consultant + Name

TOWNE SQUARE

Attachment: 12. 2008 Final Plans for Outlot #8, Hartland Towne Square PD (2978 : Site Plan #19-002, Panda Express)

LP1.05

Plant List

KEY	QTY	COMMON NAME	SCIENTIFIC NAME	REMARKS
A	10	Red Maple	<i>A. rubrum</i> 'Red Sunset'	3 cal., B+B
B	3	Sugar Maple	<i>A. saccharum</i> 'Legacy'	3 cal., B+B
C	20	Redmond Linden	<i>T. americana</i> 'Redmond'	3 cal., B+B
D	27	Aristocrat Callery Pear	<i>P. calleryana</i> 'Aristocrat'	3" cal., B+B
E6	0	White Spruce	<i>Picea glauca</i>	6' Ht., B+B
E8	3	White Spruce	<i>Picea glauca</i>	8' Ht., B+B
E10	0	White Spruce	<i>Picea glauca</i>	10' Ht., B+B
E12	0	White Spruce	<i>Picea glauca</i>	12' Ht., B+B
F6	3	Norway Spruce	<i>Picea abies</i>	6' Ht., B+B
F8	6	Norway Spruce	<i>Picea abies</i>	8' Ht., B+B
F10	3	Norway Spruce	<i>Picea abies</i>	10' Ht., B+B
F12	4	Norway Spruce	<i>Picea abies</i>	12' Ht., B+B
G	8	Prairifire Crab	<i>Malus cv.</i> 'Prairifire'	2" cal., B+B
H	6	Shadblow Serviceberry	<i>Amelanchier canadensis</i>	12' Ht., B+B
I	6	Donald Wyman Crab	<i>Malus cv.</i> 'Donald Wyman'	2" cal., B+B
J	53	Compact Amer. Cran. Viburnum	<i>V. trilobum</i> 'Bailey Compact'	24" Ht. + Spread
K	36	Dwarf Fothergillia	<i>Fothergilla gardenii</i>	24" Ht. + Spread
L	0	Norman Spirea	<i>S. x. bumalda</i> 'Norman'	24" Ht. + Spread
M	81	Broadmoor Juniper	<i>J. sabina</i> 'Broadmoor'	5 gal., 5' O.C.
N	60	Dense Yews	<i>Taxus x. densiformis</i>	24" Ht. + Spread
O	8	Shrub Roses	<i>Rosa</i> 'Nearly Wild'	3 gallon cont.
P	22	Burning Bush	<i>E. alatus</i> 'compactus'	24" Ht. + Spread

Landscape Requirements - Outlot #7

Adjacent to Roads

Required: One (1) Deciduous / Evergreen Tree per 40 LF / Road plus
 One (1) Ornamental Tree per 80 LF / Road plus
 Eight (8) shrubs per 40 LF / Road

208 LF / Hartland Square Drive Frontage =
 208 LF / 40 LF = 6 Trees (Deciduous or Evergreen)
 208 LF / 80 LF = 3 Ornamental Trees
 208 LF / 40 LF x 8 = 42 Shrubs

282 LF / US-23 Frontage =
 282 LF / 40 LF = 7 Trees (Deciduous or Evergreen)
 282 LF / 80 LF = 4 Ornamental Trees
 282 LF / 40 LF x 8 = 57 Shrubs

222 LF / Highland Road (M-59) Frontage =
 222 LF / 40 LF = 6 Trees (Deciduous or Evergreen)
 222 LF / 80 LF = 3 Ornamental Trees
 222 LF / 40 LF x 8 = 45 Shrubs

Berm Requirements

Required: Area adjacent to a public right-of-way (M-59) shall be required to have a berm. Berm shall be minimum of three feet (3') in height.

Provided: Berm (3' ht. min.) has been provided along M-59 except where prohibited due to vehicle sight distance as required by the Livingston County Road Commission.

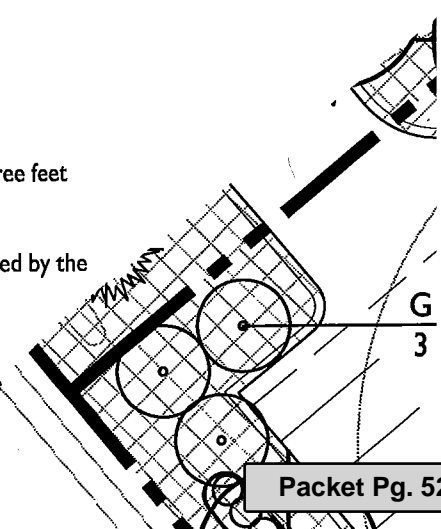
Parking Lot Landscaping

Area Required: Ten (10) SF of Landscaped Area per Parking Space
 93 Spaces x 10 SF = 930 SF
 Total Required: 930 SF

Area Provided: 3,981 SF



LP 1.05



Attachment: 12. 2008 Final Plans for Outlot #8, Hartland Towne Square PD (2978 : Site Plan #19-002, Panda Express)



Master Plan
Scale: 1" = 100'

PLANNING COMMISSION APPROVAL
Lawrence E. Fox
 See PC Meeting Minutes Of:
 01 / 12 / 2017

PATTERN BOOK FOR:



HARTLAND TOWNE SQUARE

HARTLAND TOWNSHIP, MICHIGAN

PREPARED FOR:
 HARTLAND TOWNSHIP PLANNING COMMISSION
 HARTLAND TOWNSHIP BOARD OF TRUSTEES

TOWNSHIP CONSULTANT:
 McKENNA & ASSOCIATES, PC

DEVELOPER:

 RAMCO GERSHENSON PROPERTIES TRUST

PREPARED BY:
BOWERSREIN
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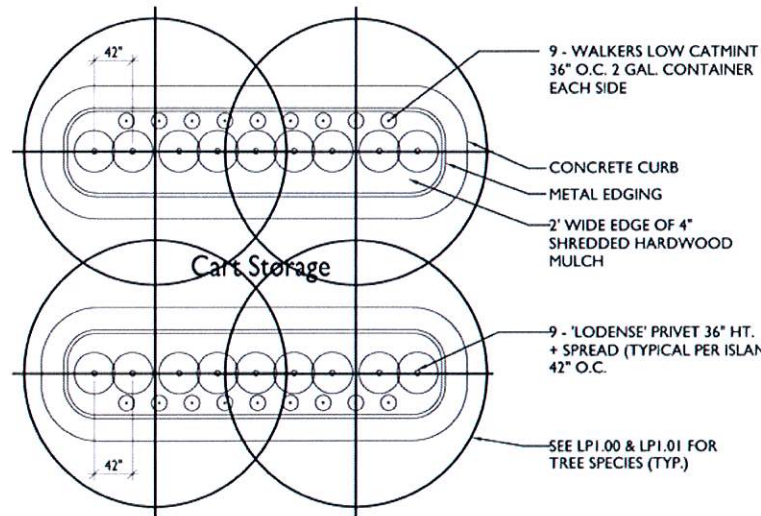
REV. NO. 5 FEBRUARY 07, 2017

The traffic Islands that are dispersed throughout the entire Hartland Towne Square will all be landscaped with a combination of deciduous canopy trees (Lindens, Maples, etc), deciduous and evergreen shrubs (Juniper/ Rose bush/ Gro-low sumac), perennials (Daylily, Black-eyed Susan), ornamental grasses (Pennisetum) and shredded hardwood mulch.

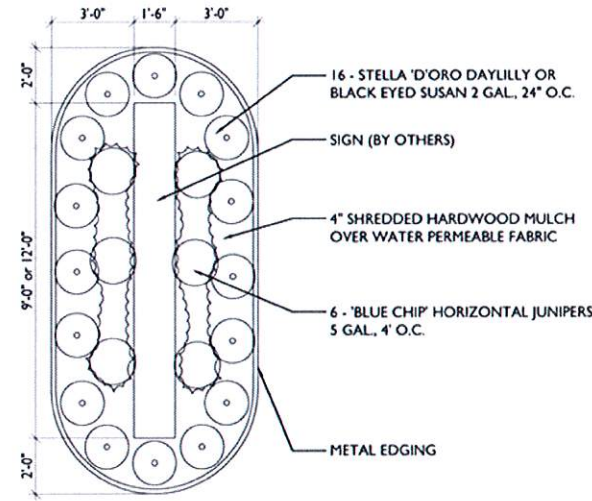
The various design options are intended to provide variety and seasonal interest to each of the parking areas. Each of the islands will be automatically irrigated.



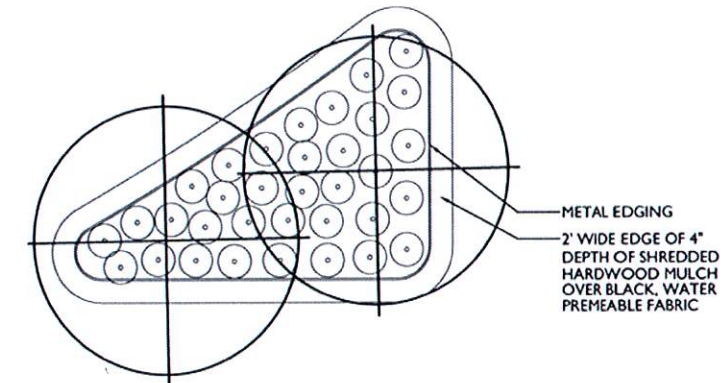
ISLAND EXAMPLE



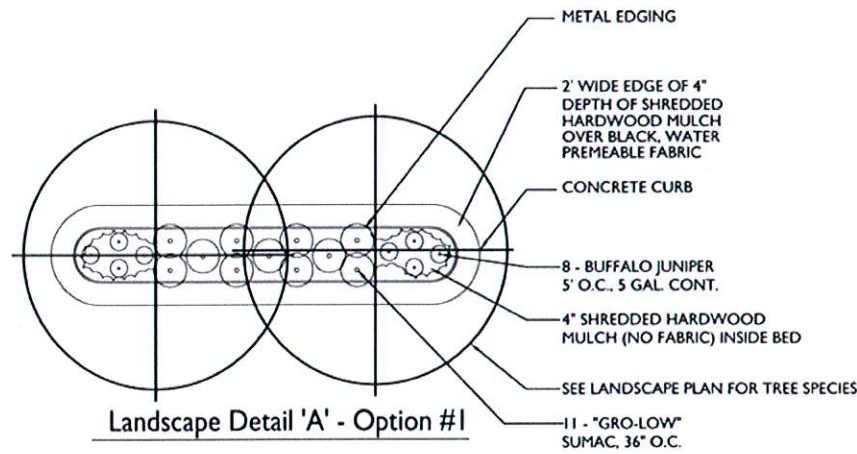
Cart Corral Landscape Islands



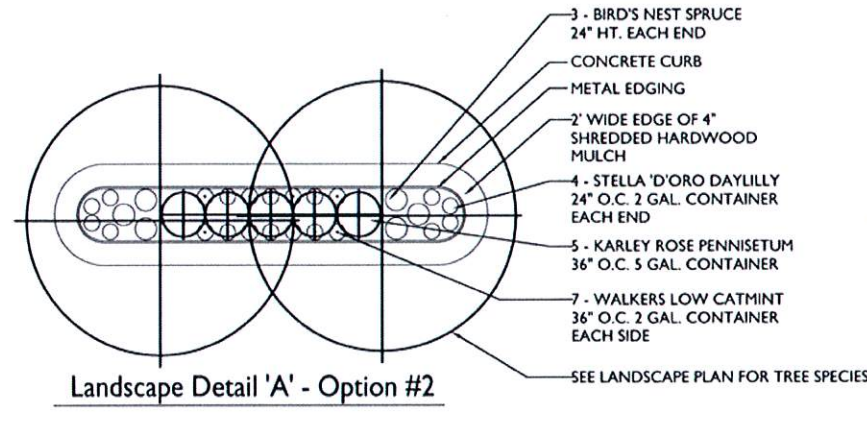
Ground Sign Planting Detail



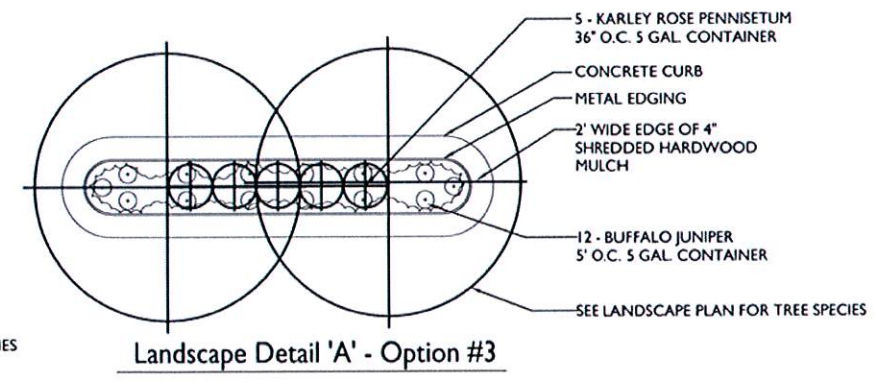
Landscape Detail 'B'



Landscape Detail 'A' - Option #1



Landscape Detail 'A' - Option #2



Landscape Detail 'A' - Option #3



TRAFFIC SIGNAL ARM - SHORT (BLACK)



TRAFFIC SIGNAL ARM - LONG (BLACK)

NOTE: ALL LIGHTING TO BE BLACK ANODIZED ALUMINUM



EXTERIOR SCONCES (BLACK)

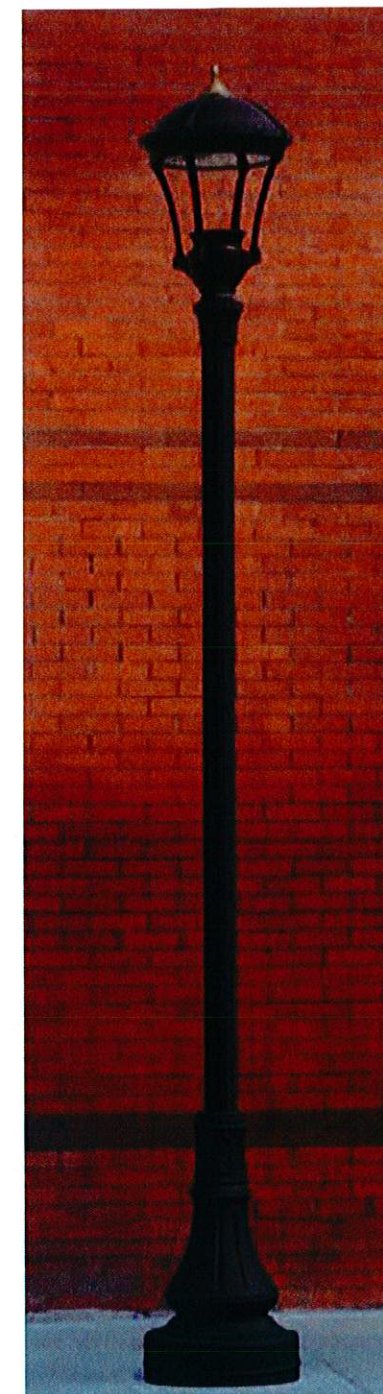


BUILDING SIGN LIGHTING (BLACK)



**COBRA HEAD FIXTURE
NEAR ROUNDABOUT
(BLACK)**

8 FIXTURES AT 35' HIGH



**DECORATIVE SINGLE
LIGHT FIXTURE ALONG
HARTLAND ROAD (BLACK)**

33 FIXTURES AT 16' HIGH

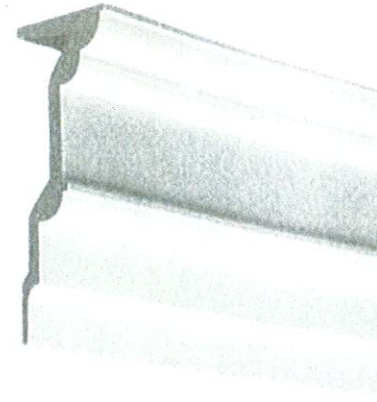
REV. NO. 3 JUNE 18, 2008

ARCHITECTURAL FEATURES

Attachment: 13. Hartland Towne Square Pattern Book dated February 7, 2017 (2978 : Site Plan #19-002, Panda Express)



ASPHALT SHINGLE



MOLDED PRE-FAB CORNICE



CULTURED STONE

Note:

1. Utility brick required for:
 - a. All major and retail buildings within development areas A, B, C and D
 - b. Clock tower
2. Standard brick required for:
 - a. All outlot buildings within outlots 1-15.
 - b. Roundabout wall

WYANDOT (HEARTLAND SERIES)

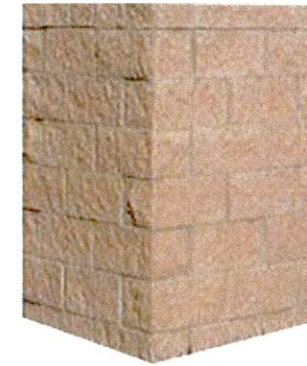


UTILITY BRICK MASONRY FOR DEVELOPMENT AREAS A, B, C AND D

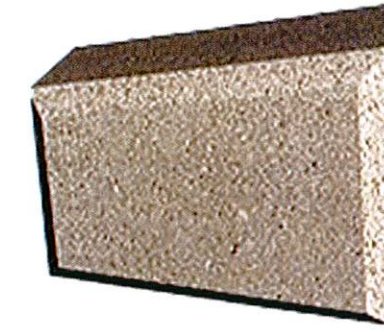
DOLOMITE GREY (TUSCAN SERIES)



ACCENT BRICK



CMU (BEST BLOCK C-19)

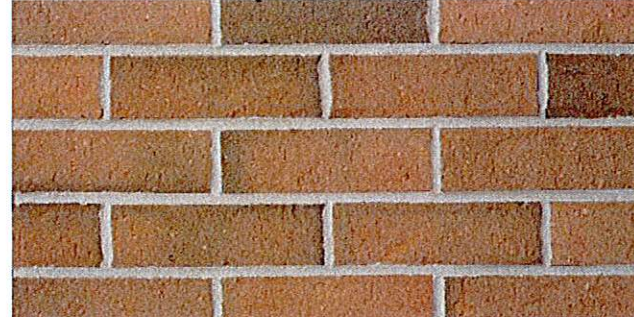


PRECAST STONE

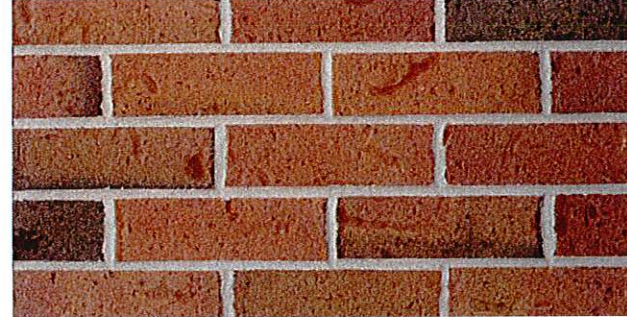
ADRIAN (HEARTLAND SERIES)



WOODBURY (HEARTLAND SERIES)



SHELBY (HEARTLAND SERIES)



CEDARVILLE (HERRITAGE SERIES)



EXTERIOR FACADE STANDARD BRICK OPTIONS FOR OUTLOTS 1-15 (ALL BRICK OPTIONS BY GLEN-GERY BRICK)

SECTION 3.0

Architectural Characteristics

For the Hartland Towne Square “Traditional” theme to be successful, it is necessary for the architecture of the buildings to reflect this theme. A consistent and harmonious design of the exterior of all buildings with no dissonant colors is essential in maintaining the overall visual effect and ambiance designed for this center. Through the use of these design criteria the development theme can be achieved. See example elevations included in Appendix C for reference.

Consistency of design, materials and color are vital elements contributing to the overall success of Hartland Towne Square.

The tenant design criteria have been developed accordingly, giving guidelines for design and material, yet allowing for flexibility and creativity.

The color palette is also vital, an overall “Earhtone” theme is necessary to create a consistent project. However, some materials such as brick, awnings and shingle roofs may not have this “Earhtone” tone, but must be harmonious. No dissonant colors allowed.. See color chart (Based on Benjamin Moore paints) in Appendix B.

It is understood that corporate identity is important to a tenant; however, these general concepts need to be adhered to in order to help enforce the “Traditional Theme”. The tenant’s design team is encouraged to review preliminary design concepts with the Developer/Landlord’s team as early as possible in the life of the project.

3.1 Building Placement / Orientation

- a. The rear service areas of each building shall be treated with the same level of finishes as the other sides and shall be visually attractive.
- b. The building should be designed to form part of a larger composition of the area in which it is situated. Adjacent buildings should be of similar scale, height and configuration.

3.2 Building Articulation

Building articulation shall be achieved using horizontal or vertical offsets, glazing, and canopy and shading systems as well as exposed structural components. Use of a diverse but complementary color and finish palate will be required.

3.3 Height

All outparcel building heights along Hartland Square Drive shall not exceed 24’ from finished floor to roof parapet and 28’ to any exterior feature element. (Feature element not to exceed 50% of building front elevation.)

3.4 Building Entries

Pedestrian interest and comfort zones at entries should be provided through special designed seating, signage, lighting and features that signal the building use and entry.

3.5 Exterior Building Materials and Colors

a ALLOWABLE MATERIALS:

SCHEDULE REGULATING FAÇADE MATERIALS (Maximum percentage allowed on each side of building)	
Wall Materials	Percentage
Brick, natural clay (Standard Size) ^A	100 (40% minimum*)
Glazed brick ^B	25
Ceramic tiles	10
Limestone	50
Stone, field, cobble and other types of stone	50
Granite or marble, polished	50
Decorative concrete masonry unit (split faced) ^C	25
Plywood siding (T-111)	0
Precast exposed aggregate	0
Precast, other	0
Flat metal panels	20
Standing seam metal ^D	25
Ribbed metal panels	0
Spandrel glass	10
Glass block	10
Glass	50
Molded cornices, trim, columns, surrounds	20
Wood siding, painted tongue and groove, batten siding, 4" vinyl siding, and aluminum siding	10
Exterior insulation finishing system (DryVit)	10

Cement Plaster	0
Canvas awnings ^E	10
Asphalt shingles, asphalt-fiberglass shingles, or other similar roofing materials	25
Neon	0

Footnotes to the Schedule Regulating Façade Materials:

- A All buildings shall have a minimum of forty percent (40%) clay brick per side.
 - B Allowed only if earth tone and matte finish.
 - C Plain-faced striated, fluted and scored concrete masonry units are not permitted. ground, polished or burnished concrete masonry unit forming an accent element in the building’s design may be permitted with Planning Commission approval.
 - D Color must be harmonious with the color of all other façade materials used on the same building, as well as the color of façade materials used on adjacent buildings. The use of dissonant and intense colored façade materials is not permitted.
 - E Awnings shall be permitted when located directly over a door or window opening. Awnings shall be complimentary to the building architecture and design. The color of any awnings shall be harmonious with the color of all other façade materials used on the same building, as well as the color of façade materials used on adjacent buildings. The use of dissonant and intense colored façade materials is not permitted.
- b. Multiple wall materials may be combined horizontally on one façade.
- c. Street level windows should be untinted. Mirrored, reflective, or opaque glass is not permitted in any location.
- d. Windows shall be of square or vertical proportion. Special windows may be circular or regular polygons.
- e. Windows should be set to the inside of the building face wall.
- f. All rooftop equipment shall be enclosed or “screened” with parapet wall or roof structure in a building material that matches the structure or is visually compatible with the structure and shall not be visible from any direction. Site line sections may be required. Metal panels may not be used for rooftop screening.

3.6 Outdoor Eating Areas

The following regulations shall apply to all outdoor seating and dining areas:

1. Applicable Establishments

Outdoor seating and dining areas shall be allowed at restaurants, bars, taverns, coffee shops, cafes, bistros, bakeries, delicatessens, specialty food stores, and/or similar establishments.

2. Standards

a. Location

All outdoor seating and dining areas shall be located immediately adjacent to the establishment with which it is associated. Outdoor seating and dining areas shall not encroach upon any public right-of-way. A minimum of five (5) feet of sidewalk shall be maintained free of tables and other encumbrances.

b. Defined Area

If alcoholic beverages are to be served, outdoor seating and dining areas must be enclosed by a barrier a minimum of three and a half (3.5) feet above the ground. The barrier must be decorative and cannot restrict visibility in or out of the area. The barrier may be constructed of permanent or temporary materials that are compatible with the architectural character of the main establishment, subject to approval by the Planning Commission. The required barrier must meet all current fire codes, subject to review and approval of the Fire Marshal and must conform to current Michigan Liquor Control Commission Rules and Regulations

c. Capacity

Outdoor seating and dining areas shall not exceed twenty-five (25%) of the total seating for the establishment.

d. Screening

Appropriate screening or fencing complimentary and aesthetically pleasing to the site shall be provided as determined necessary by the Planning Commission.

e. Pedestrian Circulation

The seating arrangement of outdoor seating and dining areas must comply with the State of Michigan Building Code and is subject to review and approval by the Hartland Township Fire Marshal.

f. Parking Spaces

No additional parking spaces are required to accommodate outdoor seating and dining areas.

g. Furniture

Tables, chairs, table umbrellas, railings, planters, posts, and other items shall be of quality design, materials, and workmanship to ensure safety and convenience of users and to enhance the visual and aesthetic quality of the area. All furniture must be made primarily of wood, metal, or a material of comparable quality.

h. Waste Disposal

Appropriate waste disposal containers shall be provided for the convenience and sanitary disposal of garbage of waste within and around outdoor seating and dining areas. Containers shall be complimentary to the style of the provided furniture.

3. **Operating Restrictions**

a. Hours of Operation

All outdoor seating and dining areas, except Outlots #14 and #15, shall be allowed to operate as regulated by the Michigan Liquor Control Commission. Outlots #14 and #15 shall be allowed to operate until 10:00 p.m. Sunday through Thursday and until 11:00 p.m. Friday and Saturday.

b. Furniture Storage

If the outdoor seating is closed for 30 days, all tables, chairs, table umbrellas, posts, and other furniture not fastened to the ground shall be removed and shall not be stored outside. It shall be the responsibility of the establishment to secure adequate storage of these items.

c. Lighting

Additional lighting on the property shall be designed and erected in accordance with Section 7.09 of the Zoning Ordinance. Lighting shall be reviewed and approved by the Planning Commission.

d. Noise

No music, intercom, or other noise shall be permitted that impacts adjacent properties (see Section 7 of Hartland Township Ordinance No. 49, Nuisances).

e. Patron Entrance and Exit

Patron entrance and exit from the enclosed outdoor seating and dining areas at establishments servicing alcohol may only occur through the main establishment or an approved fire exit, as determined by the Fire Marshal. The approved fire exit shall have an alarm to alert the establishment in the event of unauthorized use when no emergency exists.

f. Food and Beverage Service

All food and beverages shall be prepared within the main establishment. The service of alcoholic beverages is subject to the current Michigan Liquor Control Commission Rules and Regulations.

g. Display and Advertising

No outdoor seating or dining area may be used for the display or location of merchandise, advertising materials or signage. No permitted canopy, awning or umbrella shall contain advertising material or signage.

SECTION 4.0

Sidewalks

4.1 Sidewalks shall be located on all sides of buildings separating vehicular use area from the building. Sidewalks shall be a minimum of 7' in width when located adjacent to parking spaces and a minimum of 5' in width in other areas.

SECTION 5.0

Loading and Outdoor Service Areas

5.1 All loading and outdoor service areas shall be located away from primary and secondary entrance zones and not be visible from the street and must be screened.

5.2 Service and refuse areas should be incorporated into the structure as much as possible. They shall be screened from view with a minimum of 6' high, solid concrete block and brick wall finished in the same materials and color as the building. The area shall have a solid framed door. Inside the area shall be concrete pad; if restaurant, water, faucet and drain. If not incorporated into the structure, refuse areas shall be located along the furthest drive to the west of the building and all other provisions shall remain. Final location to be approved by Hartland Township/ Developer/Landlord.

5.3 "Remote/detached" refuse areas shall be screened with landscape materials.

5.4 "Take out entrance" for to go orders shall be located away from the restaurant's primary entrance and shall accommodate separate designated parking for up to six (6) vehicles.

MARCH 17, 2008

OUTLOT INFORMATION

Attachment: 13. Hartland Towne Square Pattern Book dated February 7, 2017 (2978 : Site Plan #19-002, Panda Express)

SECTION 6.0

Utilities

6.1 Developer/Landlord will provide each outparcel with conduit/sleeves or stubs for underground utilities and services (electric, gas, sewer, water and telephone) to a point 5' within the Tenant's demised premises/property.. It will be the Tenant's responsibility to extend utilities and services to the building pad.

6.2 All services and utilities shall be concealed or underground and all ancillary utility equipment shall have screened or landscape buffers of sufficient size to be screened from view.

6.3 Visible utility connections and any ancillary utility equipment shall not be located along Hartland Road, M-59, or at the main building entry.

SECTION 7.0

Landscaping, Irrigation and Screening

7.1 Parking lot landscaping shall conform to the PUD requirements. A minimum requirement of 30 s.f. of interior parking lot landscaping per parking space.

7.2 Foundation planting will be required. Size, location and quantity will be determined by the Township prior to site-plan approval.

7.3 All plant material shall be irrigated, with underground irrigation system.

7.4 Landscape materials shall be maintained consistent with the approved landscape plans. Plants shall be irrigated, fertilized, pruned and otherwise kept in healthy conditions at all times. Pruning of landscape materials other than hedges shall respect the natural growth habit of each plant species. Any plant damaged by insects, disease, vehicular traffic, workman damage, age, acts of God and vandalism shall be replaced when the damage or loss occurs.

7.5 The following plant palette shall be used:

Shrubs/Perennials/Grasses:

- | | | |
|--|--|--------------------------------------|
| Compact American Cran. Viburnum | Burning Bush | Dwarf Fountain Grass – 3 gallon |
| Dwarf Fothergillia | Stella ‘D’ Oro Daylilly – 2 gallon | Fragrant Sumac |
| Norman Spirea | Karley Rose Pennisetum – 5 gallon | Black Eye Susan – 2 gallon |
| Broadmoor Juniper – 5 gallon / 24” HT. | Blue Clip Juniper – 3 gallon / 24” HT. | Autumn Joy Sedum – 2 gallon |
| Dense Yews | Walkers Low Catmint – 2 gallon | Purple Miscanthus |
| Shrub Roses – 3 gallon / 24” HT. | Upright Chinese Juniper (3’ height) | Buffalo Juniper – 5 gallon / 24” HT. |

*All shrubs shall be a minimum 24” height and 24” wide, unless otherwise noted.

Trees:

- Sugar Maple – Minimum 3” caliper
- Redmond Linden – Minimum 3” caliper
- Aristocrat Callery Pear – Minimum 3” caliper
- White Spruce – Minimum 8’ height
- Prairifire Crab – Minimum 2” caliper and/or 10’ height
- Shadblow Serviceberry – Minimum 2” caliper and/or 10’ height
- Donald Wyman Crab – Minimum 2” caliper and/or 10’ height
- Norway Spruce – Minimum 8’ height
- Red Maple – Minimum 3” caliper
- White Fringe Tree – Minimum 2” caliper

7.6 Outparcels fronting on M-59 or Hartland Road must landscape frontage per approved site plan. If landscaping is already in, outparcel Tenant to reimburse Developer/Landlord.

SECTION 8.0

Parking Facilities

- 8.1 Each parking stall to be 10' x 20' minimum.
- 8.2 Each out parcel shall be provided access off of either Hartland Square Drive, Rovey Drive, or Hartland Road. This access may be a shared drive with the adjacent out parcel and shall be coordinated with the overall master plan layout.
- 8.3 Parking lot layout and drainage shall be coordinated with the overall master plan layout.
- 8.4 A minimum evergreen hedge planting area of 3 feet wide shall be provided along the Hartland Square Drive side of parking.
- 8.5 Parking requirements shall be as stated in Hartland Township Ordinance Section 5.01 D except for the following:
 - 1. Shopping Center or Cluster Commercial. One space for each 250 sq. of gross floor area.
 - 2. Restaurants. One space for each 100 sq. ft. of gross floor area.
 - 3. Theaters. One space for every four seats.
 Nothing contained herein shall preclude the Township from modifying the parking requirements to be less onerous than required.
- 8.6 Parking for the handicapped shall comply with applicable State and Federal codes, except that a minimum of two (2) barrier-free parking spaces shall be provided in all parking lots and in parking lots with twenty-six (26) spaces or more one (1) additional barrier-free space shall be provided over and above those required by State Law.

SECTION 9.0

Parking Lot Lighting

- 9.1 All parking lot lights and poles to match existing parking lot lights in the development. Shoe box heads to be fully recessed (Hubbell PFM-H40-V5-F) Black Color.
- 9.2 Maximum height of poles to be 28'0" above pavement. (25'0" pole on 3'0" high concrete base).
- 9.3 Photometrics must be submitted. Main parking lot average foot candles to be between 2.4 and 3.6 maximum. At main entrance to building and entrance drive, average foot candles to be 5.0 maximum, measured five feet above surface.

DEVELOPMENT TEAM

APPLICANT
PANDA RESTAURANT GROUP
1683 WALNUT GROVE AVE.
ROSEMEAD, CA 91770-3711
CONTACT: BRIAN KAN
PHONE: 626-372-8550

CIVIL ENGINEER
ATWELL, LLC
12745 23 MILE ROAD, SUITE 200
SHELBY TOWNSHIP, MI 48315
PHONE: (586) 786-9800
CONTACT: MICHAEL McPHERSON

ARCHITECT
NORR
150 W. JEFFERSON AVE., SUITE 1300
DETROIT, MI 48226
CONTACT: VALENTINO MANCINI
PHONE: 313-324-3156

GOVERNING AGENCIES / UTILITY CONTACTS

MUNICIPALITY
HARTLAND TOWNSHIP
2655 CLARK ROAD
HARTLAND, MI 48353
CONTACT: TROY LANGER
PHONE: 810-632-7498

PUBLIC WORKS
HARTLAND DEPT. OF PUBLIC WORKS
2655 CLARK ROAD
HARTLAND, MI 48353
CONTACT: SANDY BRONDSETTER
PHONE: 810-632-7498

SOIL EROSION
LIVINGSTON COUNTY DRAIN
COMMISSIONER'S OFFICE
2300 E. GRAND RIVER
HOWELL, MI 48843
CONTACT: MICHELLE LAROSE, P.E.
PHONE: 517-546-0040

STORMWATER
LIVINGSTON COUNTY DRAIN
COMMISSIONER'S OFFICE
2300 E. GRAND RIVER
HOWELL, MI 48843
CONTACT: MICHELLE LAROSE, P.E.
PHONE: 517-546-0040

GAS
CONSUMERS ENERGY
1015 S. LATSON RD.
HOWELL, MI 48843

DATA/TELEPHONE
AT&T
421 EAST GRAND RIVER
HOWELL, MI 48843

ELECTRIC
DTE ENERGY
ONE ENERGY PLAZA, RM 1230 WCB
DETROIT, MI 48226

SITE PLANS



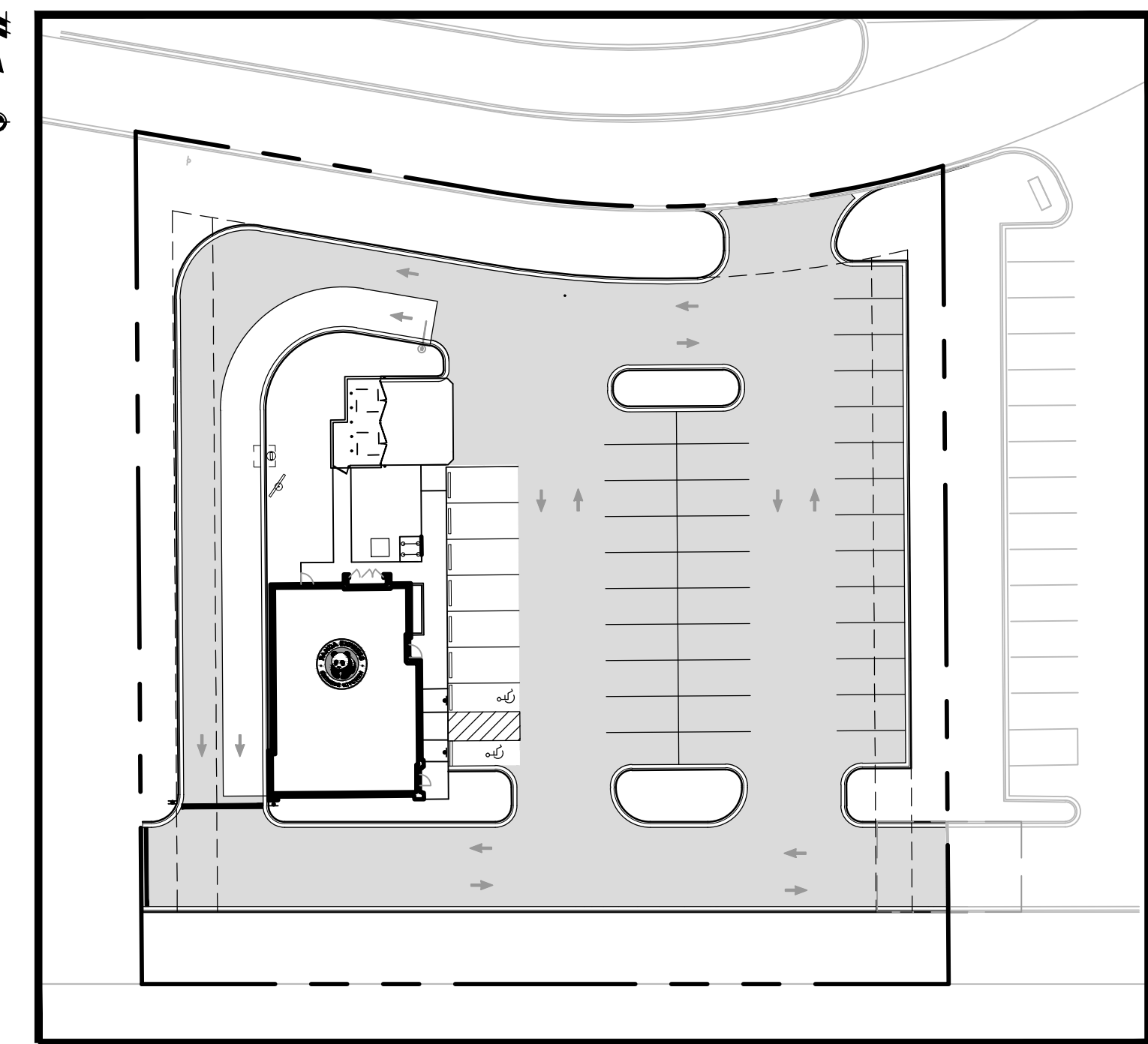
28TH STREET (M-11) & SHAFFER AVE.
KENT COUNTY, KENTWOOD, MICHIGAN

PREPARED BY:

Atwell, LLC
12745 23 Mile Road
Shelby Township, Michigan
48315
Telephone: 586-786-9800

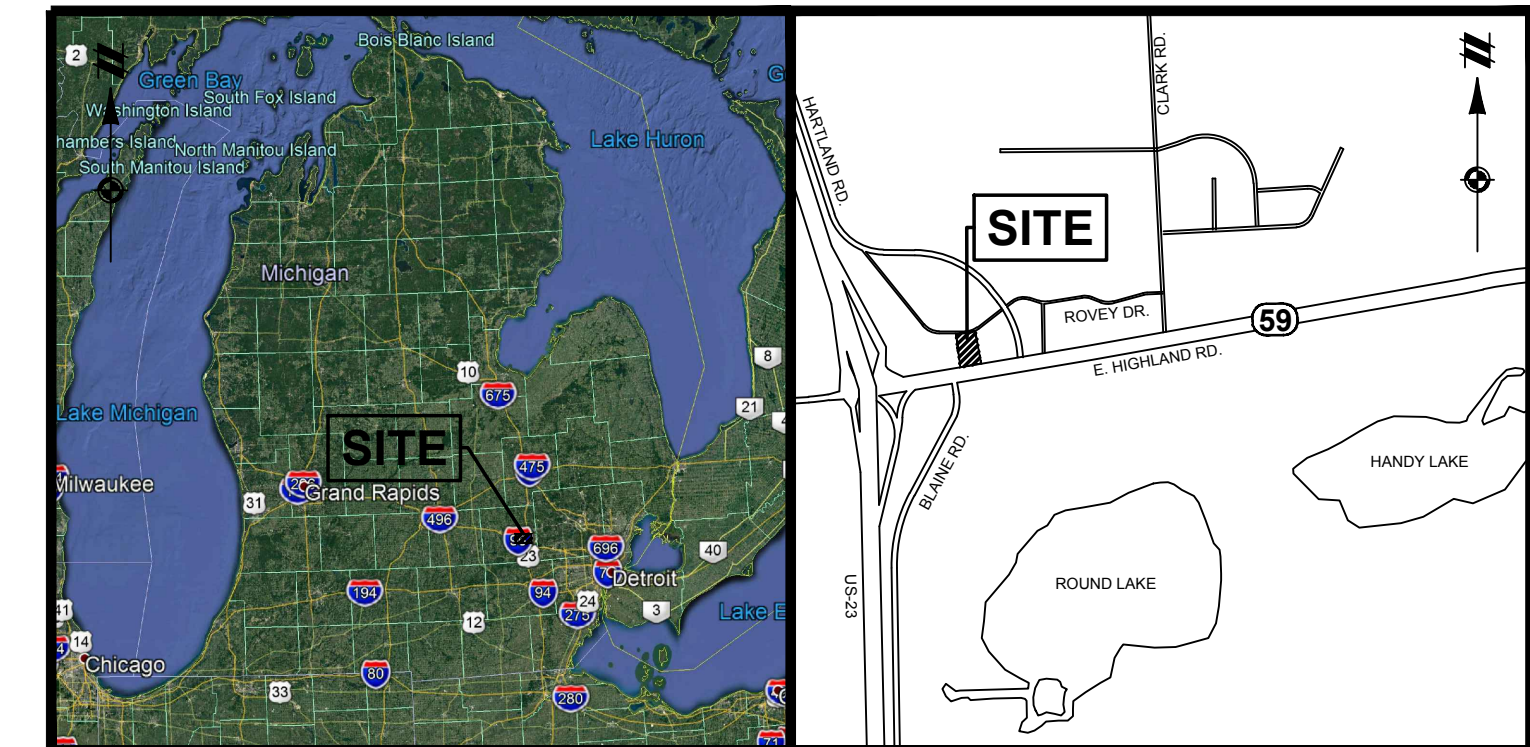
PREPARED FOR:

PANDA RESTAURANT GROUP INC.
1683 Walnut Grove Ave.
Rosemead, California
91770
Telephone: 626.799.9898
Facsimile: 626.372.8288



OVERALL SITE PLAN

NOT TO SCALE



REGIONAL MAP

NOT TO SCALE

VICINITY MAP

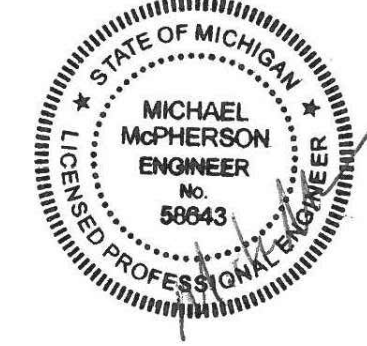
NOT TO SCALE

PROJECT NARRATIVE

THIS PROJECT PROPOSES TO CONSTRUCT A 2,300 SQUARE FOOT PANDA EXPRESS RESTAURANT WITH DRIVE-THRU AND ASSOCIATED PARKING LOT ON OUTLOT 8 (VACANT) OF THE HARTLAND TOWNE SQUARE PLANNED DEVELOPMENT, NORTH OF HIGHLAND ROAD AND WEST OF HARTLAND ROAD.

24-HOUR CONTACT:
PANDA PM

811 Know what's below. Call before you dig. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE MANNER ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCURRED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OR OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



SITE DATA

PARCEL SUMMARY table with columns: PARCEL ID#, GROSS AREA, ZONING. Row: 4708-21-400-074, 1.147 ACRES, PD

BUILDING DATA table with columns: HEIGHT, GROSS FLOOR AREA. Row: 23'-6", 2,300 SFT

STANDARD PARKING DATA table with columns: PROPOSED, REQUIRED, FORMULA. Row: 42 SPACES, 23 SPACES, 1 SPACE/100 GFA

ACCESSIBLE PARKING DATA table with columns: PROPOSED, REQUIRED, FORMULA. Row: TOTAL 2 SPACES, 2 SPACES, 26-50 TOTAL SPACES; VAN 1 SPACE, 1 SPACE, 1/6 ACCESSIBLE SPACES

LOADING DATA table with columns: PROPOSED, REQUIRED. Row: LOADING (1) 10'X50', (1) 10'X25'

SHEET INDEX

- C00 COVER
C02 SITE LAYOUT PLAN
C03 STORMWATER PLAN
C04 UTILITY PLAN
C05 LANDSCAPE PLAN
C06 LANDSCAPE DETAILS
C07 DETAILS

ATTACHED PLANS

- ALTA SURVEY
PHOTOMETRIC PLAN
LIGHTING CUT SHEETS
A-101 FLOOR PLAN
A-107 ROOF PLAN
A-200 EXTERIOR ELEVATIONS
A-201 EXTERIOR ELEVATIONS
A-202 EXTERIOR PERSPECTIVES
A-300 TRASH ENCLOSURE DETAILS

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1683 Walnut Grove Ave.
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91770
Telephone: 626.799.9898
Facsimile: 626.372.8288

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REVISIONS:

Table with columns for revision number, description, and date.

ISSUE DATE:

1-7-2019 SITE PLAN SUBMITTAL

DRAWN BY: EM

PANDA PROJECT #:
ARCH PROJECT #:
ENG PROJECT #: 18002058

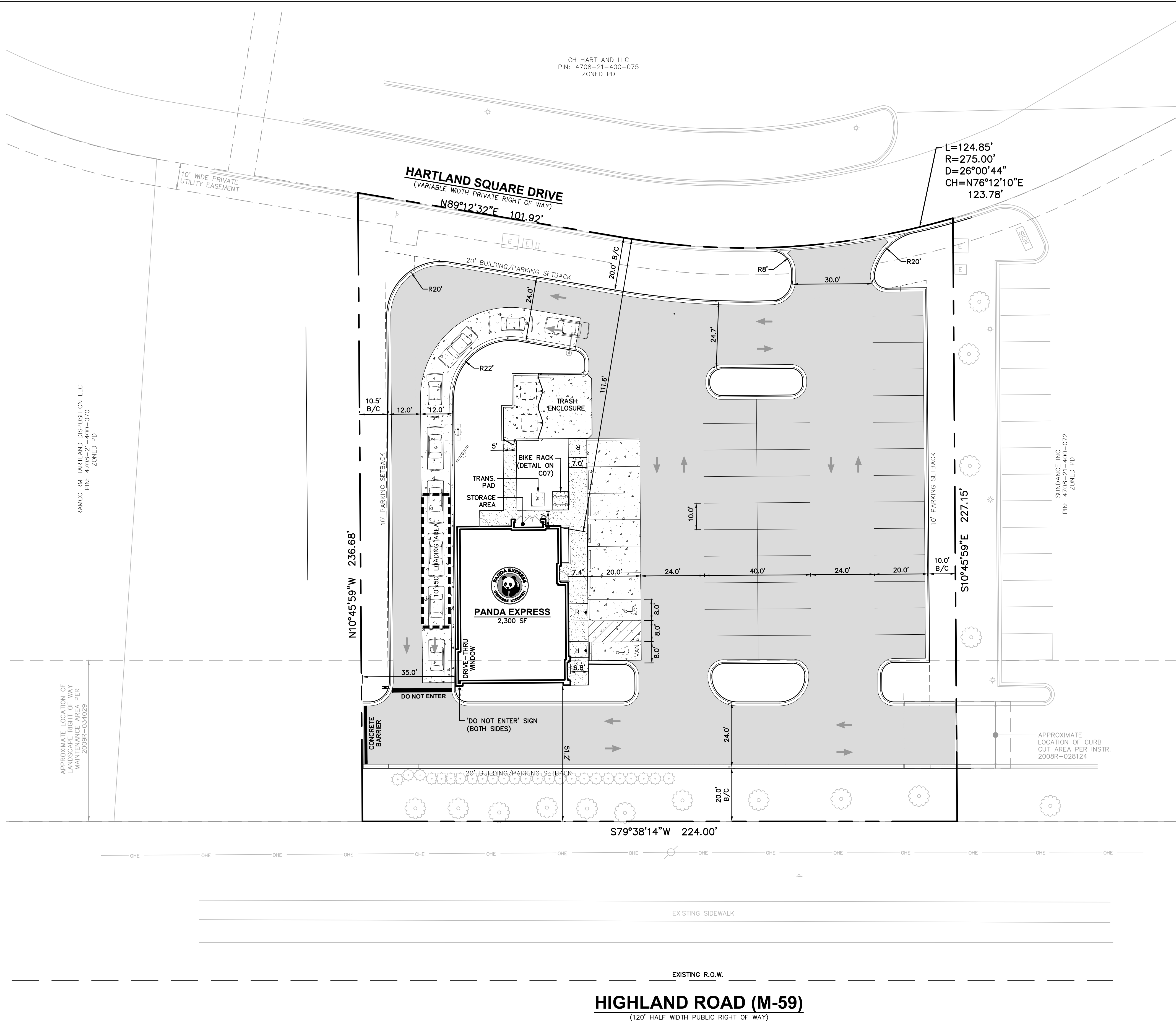


PANDA EXPRESS

HARTLAND, MI

C00

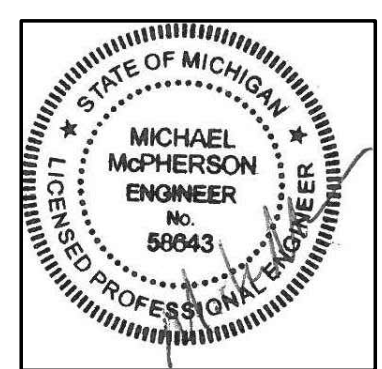
COVER



SITE BENCHMARKS

BENCHMARK 1
ARROW ON TOP OF FIRE HYDRANT 200± WEST OF ENTRANCE TO TACO BELL, SOUTH SIDE OF ROADWAY
ELEVATION: 981.12' (NAVD88)

BENCHMARK 2
ARROW ON TOP OF FIRE HYDRANT ON EAST SIDE OF ENTRANCE OF TACO BELL
ELEVATION: 981.97' (NAVD88)



LEGEND

	PROPERTY LINE		TRAFFIC FLOW ARROWS
	PROPOSED CURB & GUTTER		PROPOSED SIGN
	RIGHT-OF-WAY		PARKING ROW COUNT
	CONCRETE SIDEWALK		ACCESSIBLE PARKING SPACE
	CONCRETE		PROPOSED LIGHT POLE
	PROPOSED ASPHALT PAVEMENT		EXISTING UTILITY POLE
	EXISTING OVERHEAD LINES		RAMP
	EXISTING GUY WIRE		

- NOTES**
- REFERENCE THE STANDARD NOTES SHEET FOR ADDITIONAL INFORMATION.
 - FOR ALL APPLICABLE CONSTRUCTION DETAILS REFERENCE THE STANDARD DETAILS SHEET(S) AND ANY MUNICIPAL/JURISDICTIONAL DETAILS ATTACHED TO THIS PLAN SET.
 - REFERENCE THE ALTA/ACSM LAND TITLE SURVEY FOR ADDITIONAL EXISTING FEATURES AND PROPERTY BOUNDARY INFORMATION.
 - ALL DIMENSIONS ARE TO EDGE OF BUILDING, FACE OF CURB, OR EDGE OF PAVEMENT, UNLESS OTHERWISE NOTED.
 - REFERENCE ARCHITECTURAL / FOUNDATION PLANS FOR BUILDING DIMENSIONS.
 - ALL RADII ARE 5' UNLESS OTHERWISE NOTED.
 - ALL SIDEWALK ADJACENT TO THE BUILDING SHALL BE INTEGRAL WALK UNLESS OTHERWISE NOTED. SEE DETAILS.
 - LIGHT POLE LOCATIONS ARE SHOWN FOR REFERENCE ONLY, SEE LIGHTING PLAN (BY OTHERS) FOR LIGHT POLE DETAILS, LOCATION, AND INTENSITIES.

SITE DATA

PARCEL SUMMARY

PARCEL ID#	GROSS AREA	ZONING
4708-21-400-074	1.147 ACRES	PD

BUILDING DATA

HEIGHT	GROSS FLOOR AREA
23'-6"	2,300 SFT

STANDARD PARKING DATA

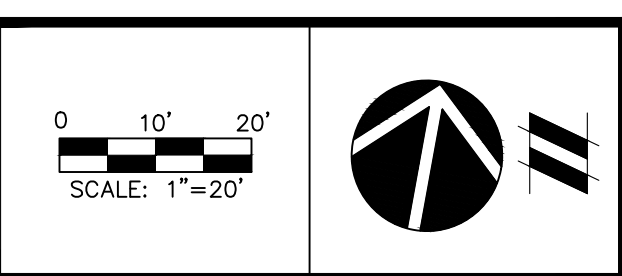
PROPOSED	REQUIRED	FORMULA
42 SPACES	23 SPACES	1 SPACE/100 GFA

ACCESSIBLE PARKING DATA

TOTAL	PROPOSED	REQUIRED	FORMULA
2 SPACES	2 SPACES	26-50 TOTAL SPACES	
1 SPACE	1 SPACE	1/6 ACCESSIBLE SPACES	

LOADING DATA

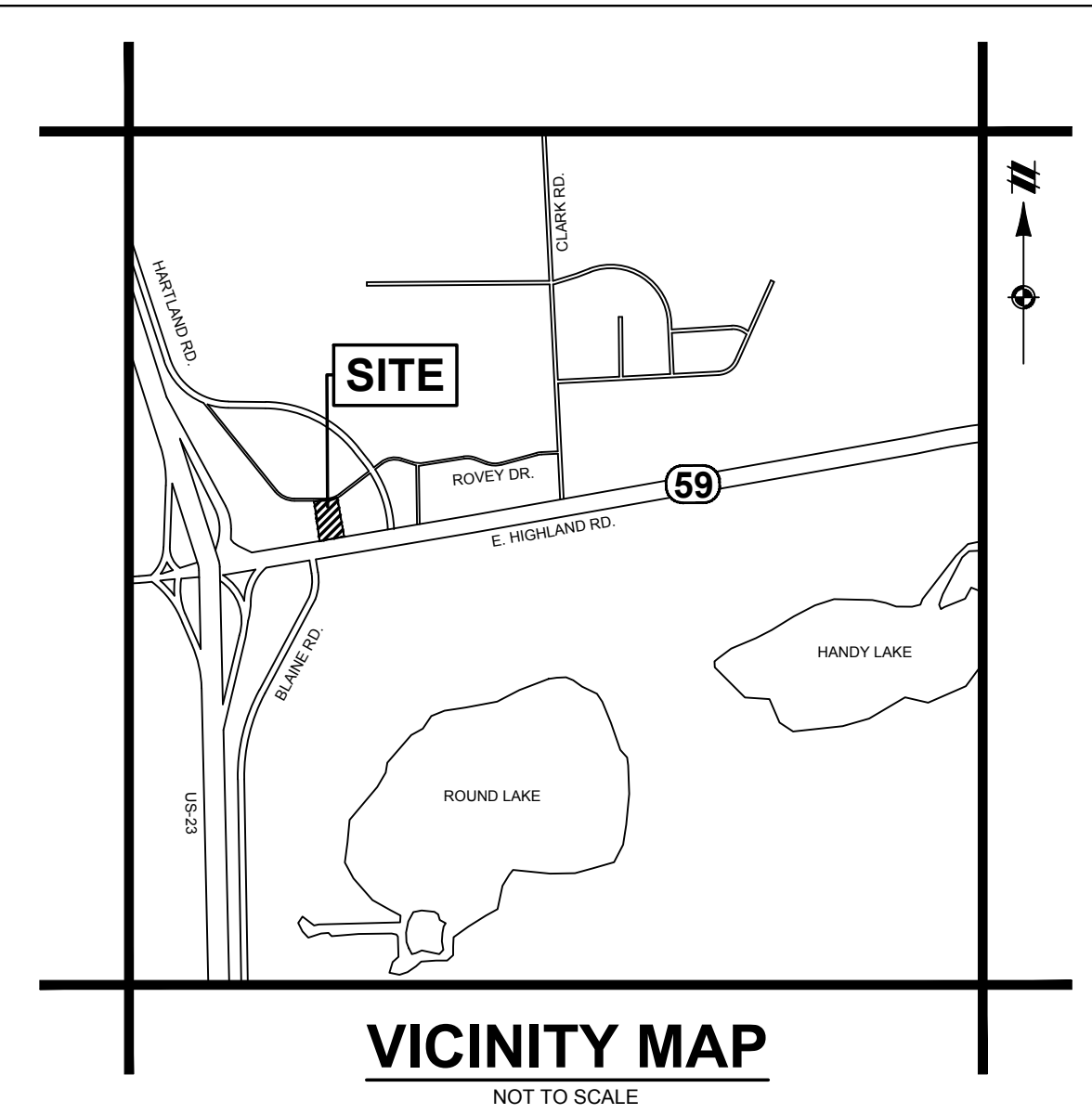
LOADING	PROPOSED	REQUIRED
(1) 10'X50'	(1) 10'X25'	



811
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REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:
1-7-2019 SITE PLAN SUBMITTAL

DRAWN BY: EM

PANDA PROJECT #:
ARCH PROJECT #:
ENG PROJECT #: 18002058



PANDA EXPRESS

HARTLAND, MI

C02
SITE LAYOUT PLAN



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REVISIONS:

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ISSUE DATE:

Table with 2 columns: Description, Date. Contains 1 row: 1-7-2019 SITE PLAN SUBMITTAL.

DRAWN BY: EM

PANDA PROJECT #:
ARCH PROJECT #:
ENG PROJECT #: 18002058

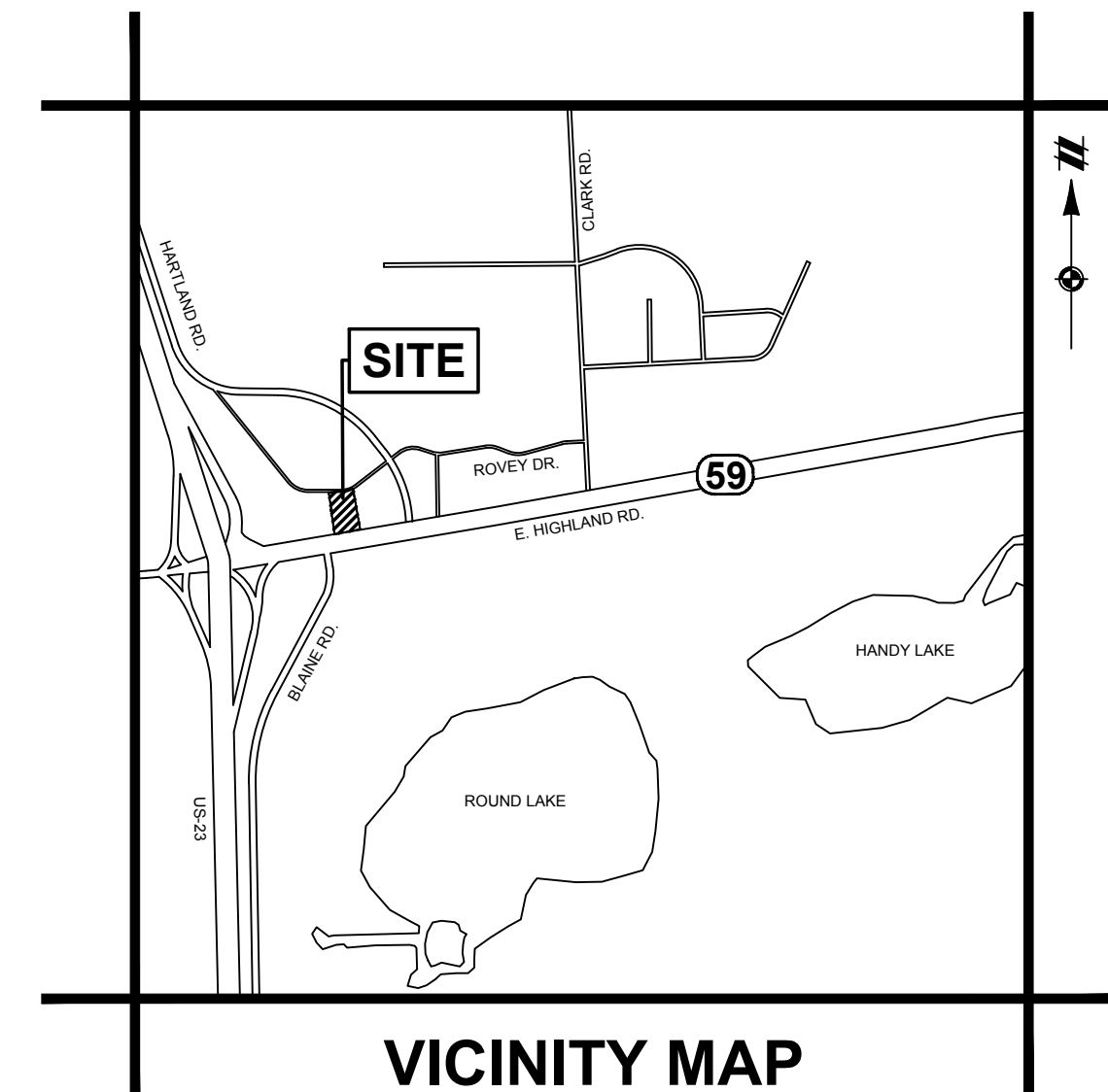


PANDA EXPRESS

HARTLAND, MI

C03

STORMWATER PLAN



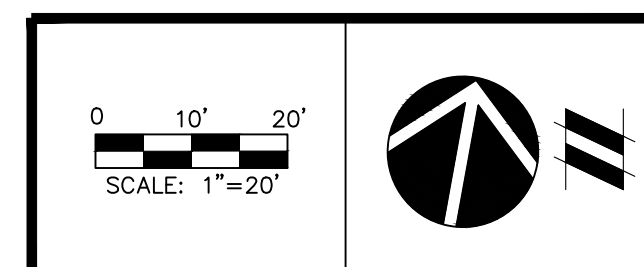
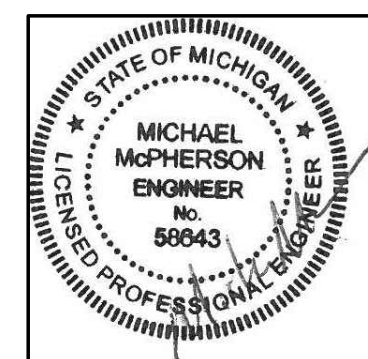
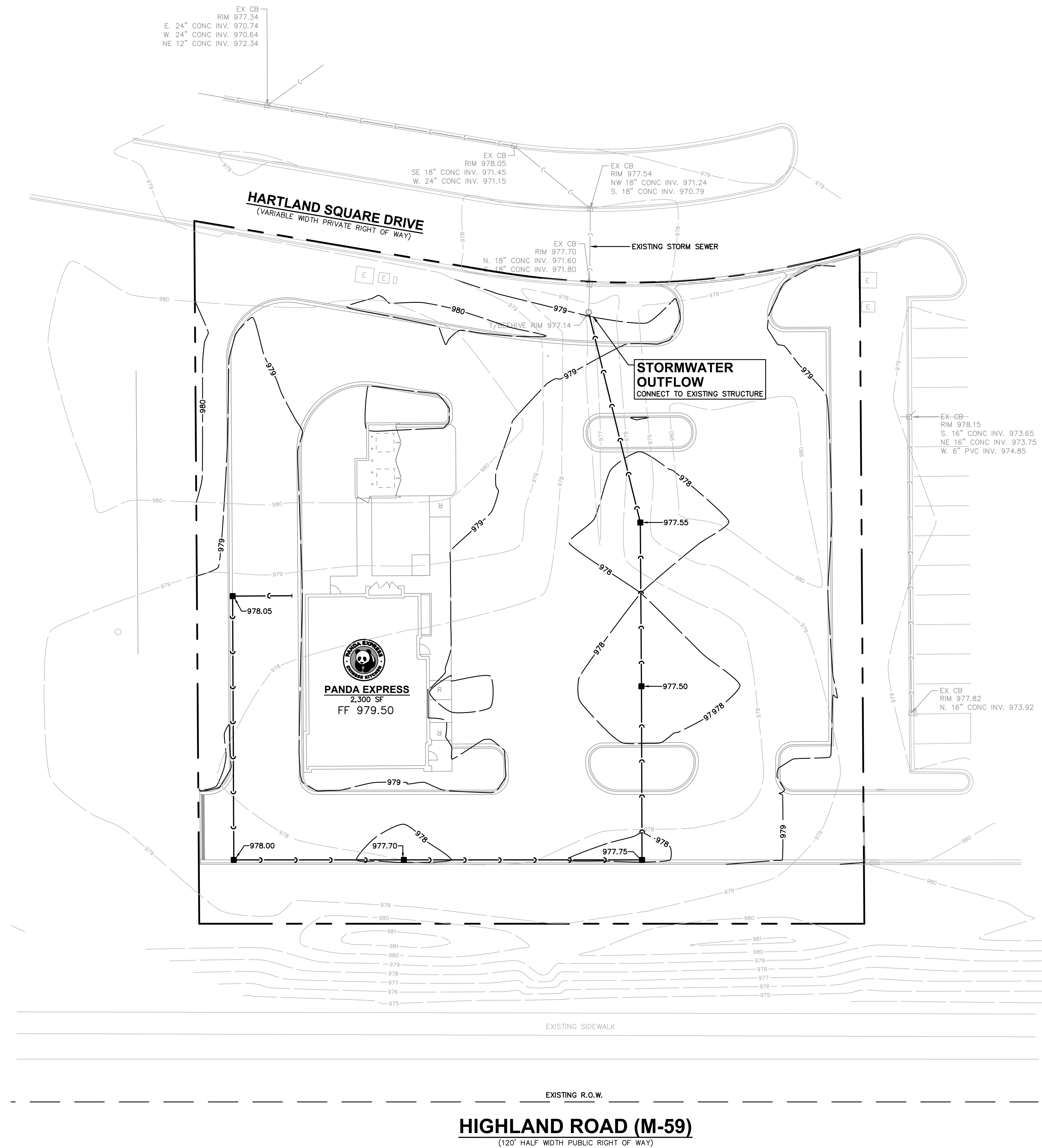
VICINITY MAP
NOT TO SCALE

LEGEND

- PROPERTY LINE
PROPOSED CONTOUR
EXISTING CONTOUR
PROPOSED DRAINAGE BOUNDARY
PROPOSED STORM SEWER
EXISTING STORM SEWER
EXISTING / PROPOSED MANHOLE
EXISTING / PROPOSED CATCH BASIN

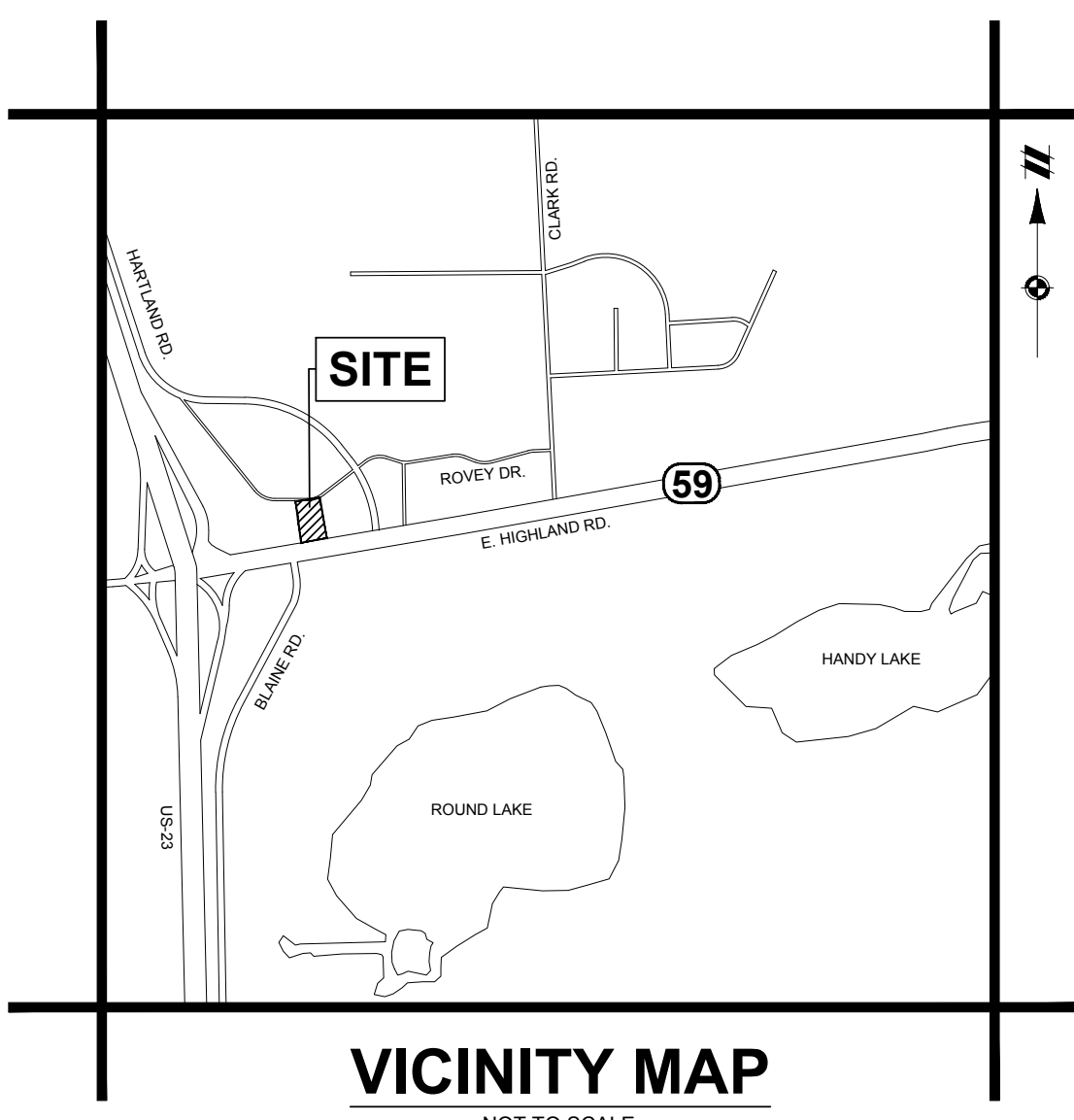
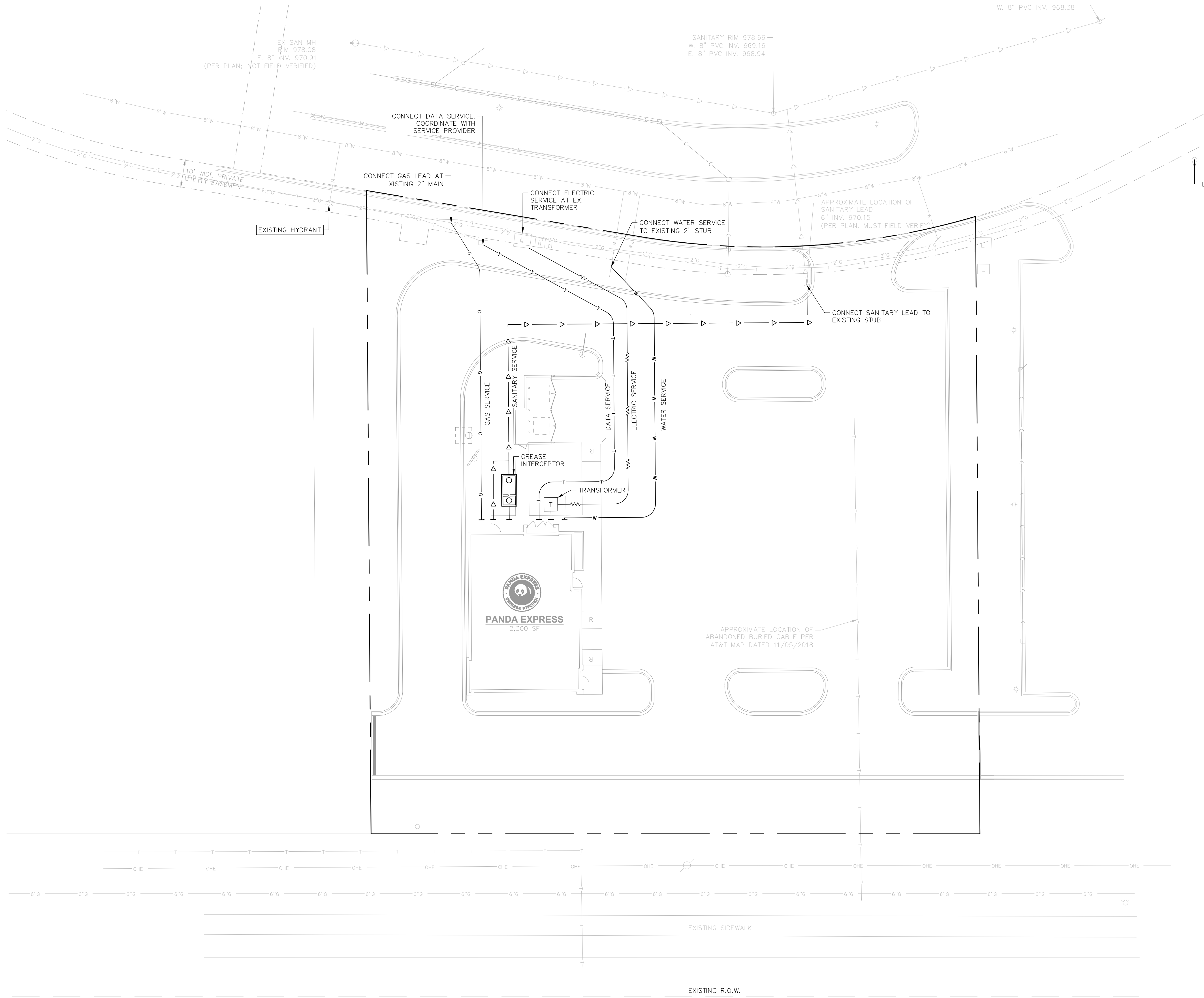
STORMWATER NARRATIVE

THIS SITE STORM SEWER SYSTEM FOR THIS PROJECT PROPOSED TO CONNECT TO THE EXISTING SITE STORM SEWER SYSTEM WHICH IS PART OF THE HARTLAND TOWNE SQUARE PLANNED DEVELOPMENT. DETENTION AND PRE-TREATMENT FOR THIS PROPERTY HAS PREVIOUSLY BEEN ACCOUNTED FOR IN THE REGIONAL FOREBAY AND DETENTION SYSTEM FOR THE PLANNED DEVELOPMENT.



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LEGEND

	PROPERTY LINE
	EXISTING SANITARY SEWER
	EXISTING WATER
	EXISTING GAS
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING OVERHEAD LINES
	EXISTING UNDERGROUND CABLE
	PROPOSED STORM SEWER
	PROPOSED SANITARY SEWER
	PROPOSED WATER
	PROPOSED GAS
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED UNDERGROUND DATA
	EXISTING MANHOLE
	EXISTING HYDRANT
	EXISTING / PROPOSED VALVE
	EXISTING UTILITY POLE
	PROPOSED LIGHT POLE

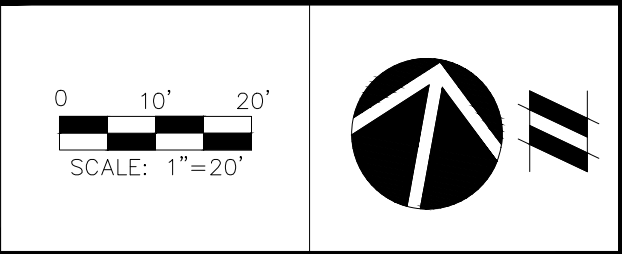
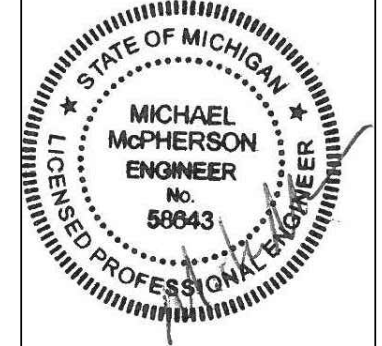
NOTES

- CONTRACTOR SHALL COORDINATE ALL UTILITY CONNECTIONS WITH UTILITY COMPANY OR AUTHORITY HAVING JURISDICTION PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL CALL 'MISS DIG' AT LEAST THREE (3) WORKING DAYS PRIOR TO CONSTRUCTION.
- FRANCHISE UTILITY LOCATIONS SHOWN FOR REFERENCE ONLY. OWNER/CONTRACTOR TO COORDINATE FRANCHISE UTILITY SERVICE CONNECTIONS, PERMITTING, ROUTING, ETC. WITH UTILITY COMPANIES.
- ALL SANITARY SEWER LEAD SHALL BE 6" PVC SDR 23.5 WITH MINIMUM 1% SLOPE.

SITE BENCHMARKS

BENCHMARK 1
ARROW ON TOP OF FIRE HYDRANT 200± WEST OF ENTRANCE TO TACO BELL, SOUTH SIDE OF ROADA
ELEVATION: 981.12' (NAVD88)

BENCHMARK 2
ARROW ON TOP OF FIRE HYDRANT ON EAST SIDE OF ENTRANCE OF TACO BELL
ELEVATION: 981.97' (NAVD88)



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REVISIONS:

NO.	DESCRIPTION	DATE

ISSUE DATE:

1-7-2019	SITE PLAN SUBMITTAL

DRAWN BY: EM

PANDA PROJECT #:
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ENG PROJECT #: 18002058

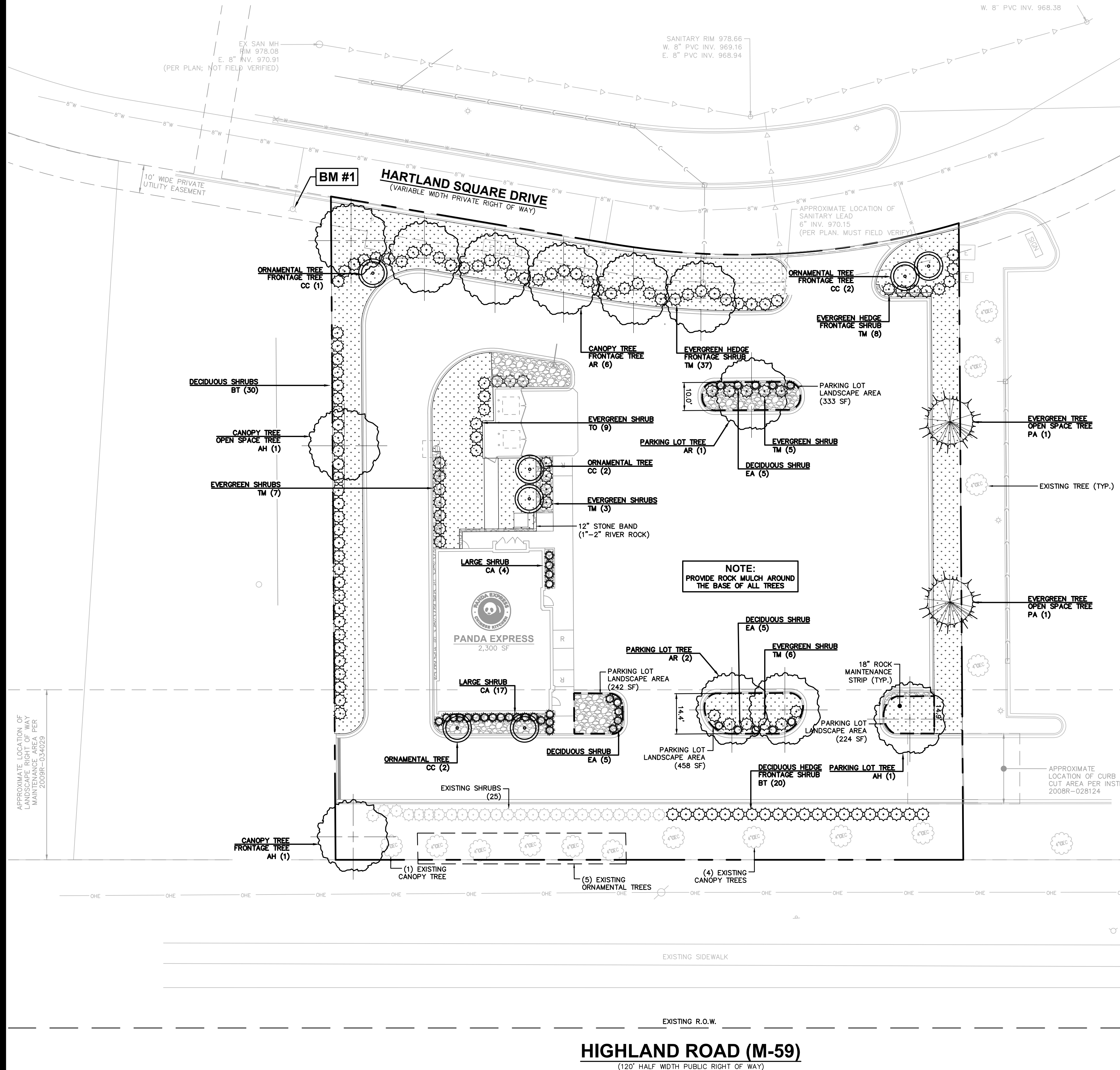


PANDA EXPRESS

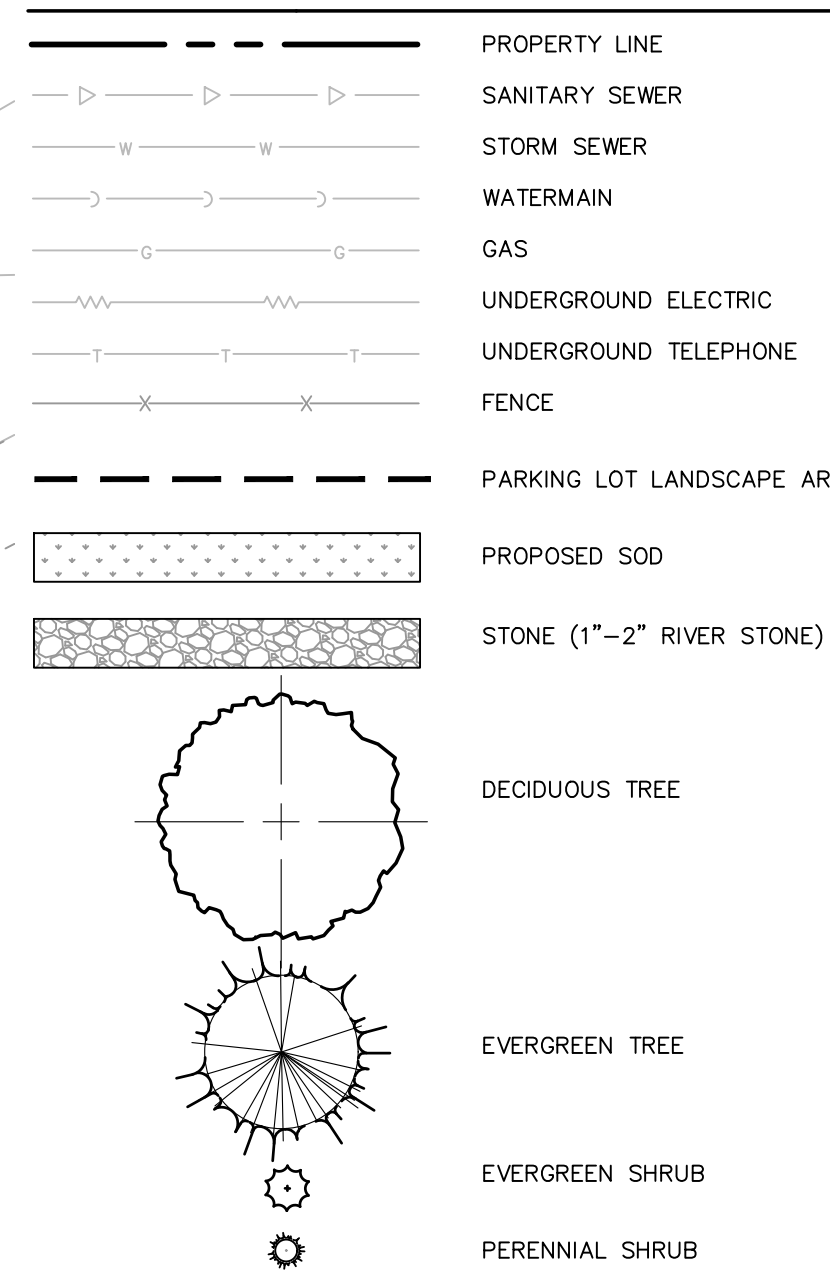
HARTLAND, MI

C04

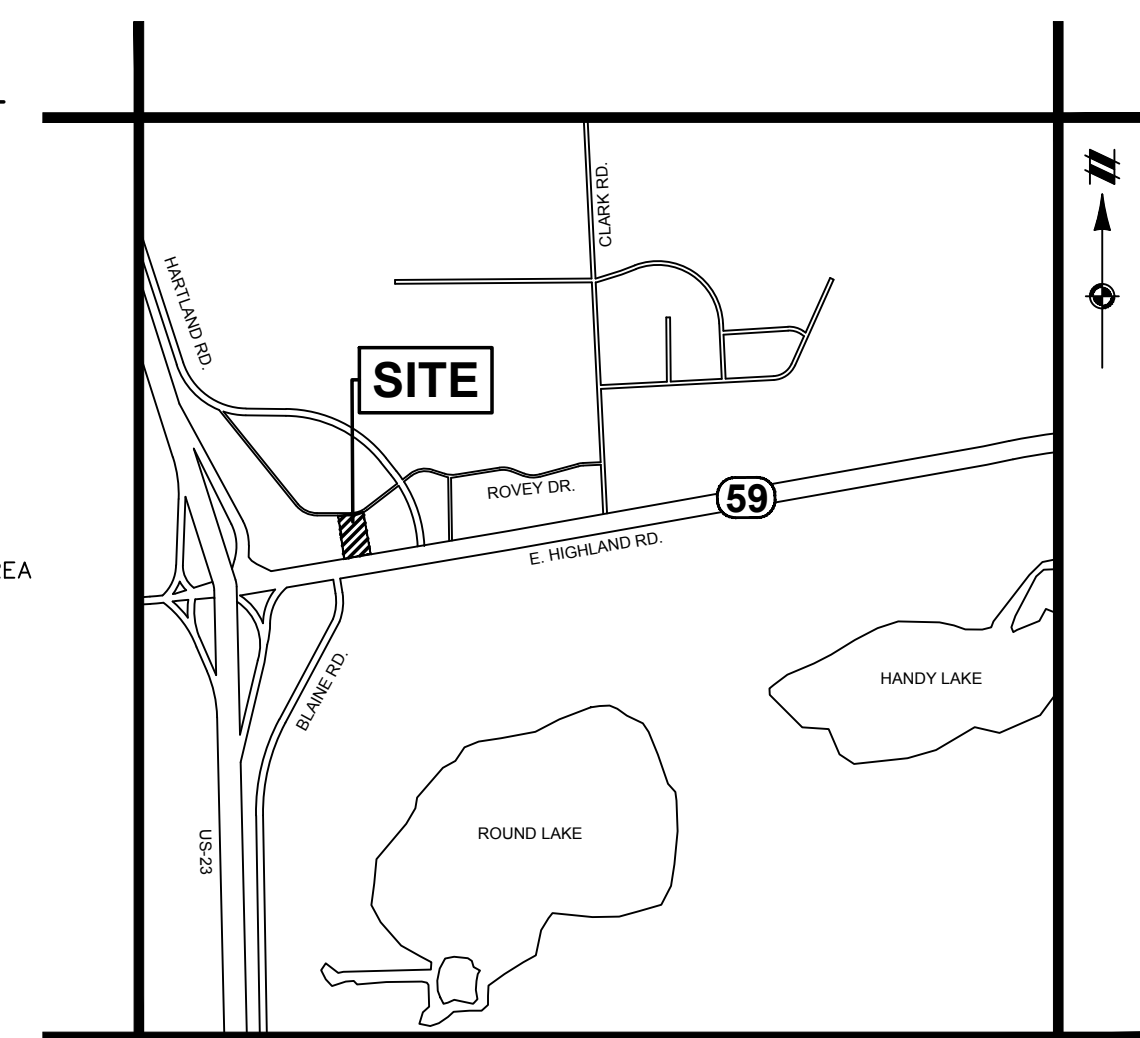
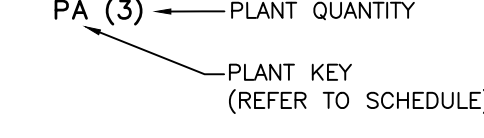
UTILITY PLAN



LEGEND



PLANT KEY



LANDSCAPE REQUIREMENTS SUMMARY

ITEM	QTY PROVIDED	QTY REQUIRED	FORMULA
HARTLAND SQUARE FRONTAGE			
TREES	6 TREES	6 TREES	1/40 LF (227')
ORNAMENTAL TREES	3 TREES	3 TREES	1/80 LF (227')
SHRUBS	45 SHRUBS	45 SHRUBS	8/40 LF (227')
M-59(HIGHLAND ROAD) FRONTAGE			
TREES	4 TREES	6 TREES	1/40 LF (224')
ORNAMENTAL TREES	4 TREES	3 TREES	1/80 LF (224')
SHRUBS	45 SHRUBS	45 SHRUBS	8/40 LF (224')
RIGHT-OF-WAY BERM			
EXISTING BERM ON-SITE			
PARKING LOT			
PARKING LOT LANDSCAPE AREA	1,257 SF	420 SF	42 SPACES * 10 SF/SPACE
PARKING LOT TREES	4 TREES	4 TREES	1,244 SF/320 SF/TREE
OPEN SPACE LANDSCAPING			
OPEN SPACE TREES	3 TREES	3 TREES	1 TREE/3,000 SF (9,068 SF)

DECIDUOUS CANOPY TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
AR	9	ACER RUBRUM 'AUTUMN BLAZE'	AUTUMN BLAZE RED MAPLE	2.5" CAL.	B & B
AH	3	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	2.5" CAL.	B & B

DECIDUOUS ORNAMENTAL TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
CC	7	CARCIS CANADENSIS	EASTERN REDBUD	2.5" CAL.	B & B

EVERGREEN TREE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
PA	2	PICEA ABIES 'CUPRESSINA'	COLUMNAR NORWAY SPRUCE	8" HT.	B & B

SHRUB SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
BT	52	BERBERIS THUNBERGII	JAPANESE BARBERRY	30" HT.*	3 GAL
EA	15	EUONYMUS ALATA 'COMPACTA'	COMPACT EUONYMUS	24"	CONT.
TM	66	TAXUS X. MEDIA 'DENSIFORMIS'	DENSE YEW	24"	CONT.
TO	9	THUJA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	5' HT.	B & B
CA	21	CALAMAGROSTIS ARUNDINACEA	'KARL FOERSTER'	2 GAL.	CONT.

*NOTE JAPANESE BARBERRY MUST BE 30" HEIGHT AT THE TIME OF PLANTING

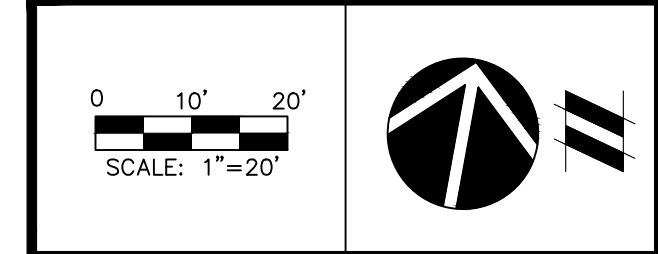
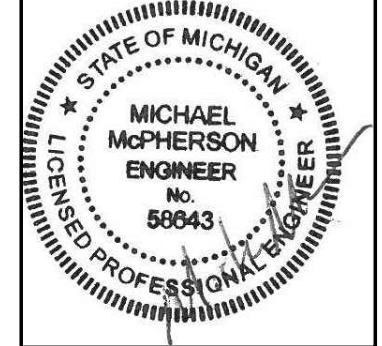
NOTES TO CONTRACTOR

- ALL DISEASED, DAMAGED, OR DEAD PLANTING MATERIALS SHALL BE REMOVED IN ACCORDANCE WITH STANDARDS OF THE CITY OF KENWOOD ZONING ORDINANCE.
- ALL PLANTS SHALL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND SHALL HAVE PASSED INSPECTIONS REQUIRED UNDER STATE REGULATIONS.
- SITE IRRIGATION TO BE PROVIDED FOR ALL PROPOSED LANDSCAPE IMPROVEMENT AREAS AND LAWN AREAS

SITE BENCHMARKS

BENCHMARK 1
 ARROW ON TOP OF FIRE HYDRANT 200± WEST OF ENTRANCE TO TACO BELL, SOUTH SIDE OF ROADA
 ELEVATION: 981.12' (NAVD88)

BENCHMARK 2
 ARROW ON TOP OF FIRE HYDRANT ON EAST SIDE OF ENTRANCE OF TACO BELL
 ELEVATION: 981.97' (NAVD88)



811
 Know what's below.
 Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OR OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.



PANDA RESTAURANT GROUP INC.
 1683 Walnut Grove Ave.
 Rosemead, California 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

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REVISIONS:

NO.	DESCRIPTION

ISSUE DATE:
 1-7-2019 SITE PLAN SUBMITTAL

DRAWN BY: EM

PANDA PROJECT #:
ARCH PROJECT #:
ENG PROJECT #: 18002058



PANDA EXPRESS

HARTLAND, MI

C05
LANDSCAPE PLAN



PANDA RESTAURANT GROUP INC.
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 Rosemead, California
 91770
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REVISIONS:

ISSUE DATE:

1-7-2019 SITE PLAN SUBMITTAL

DRAWN BY: EM

PANDA PROJECT #:
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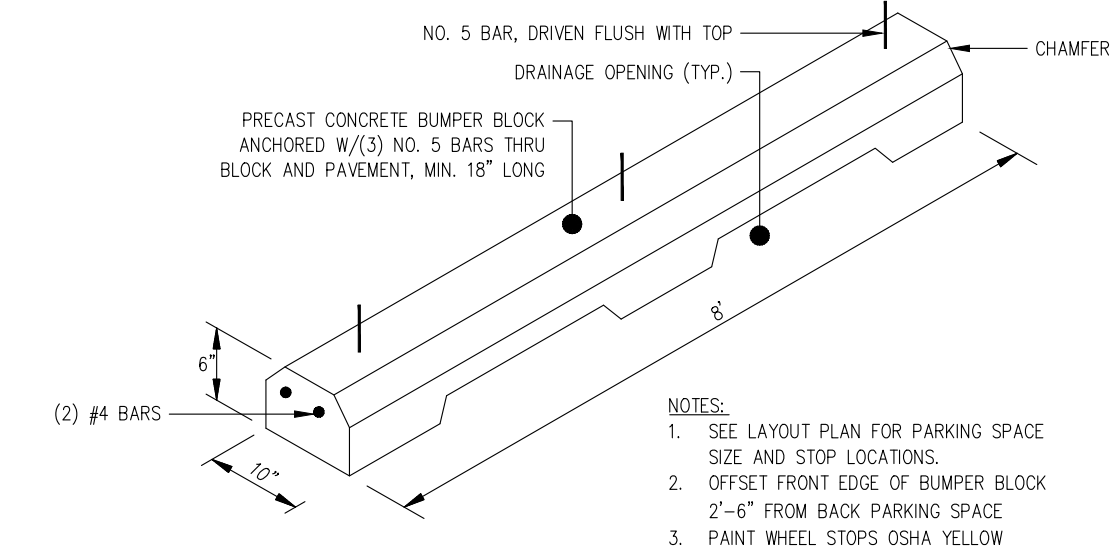


PANDA EXPRESS

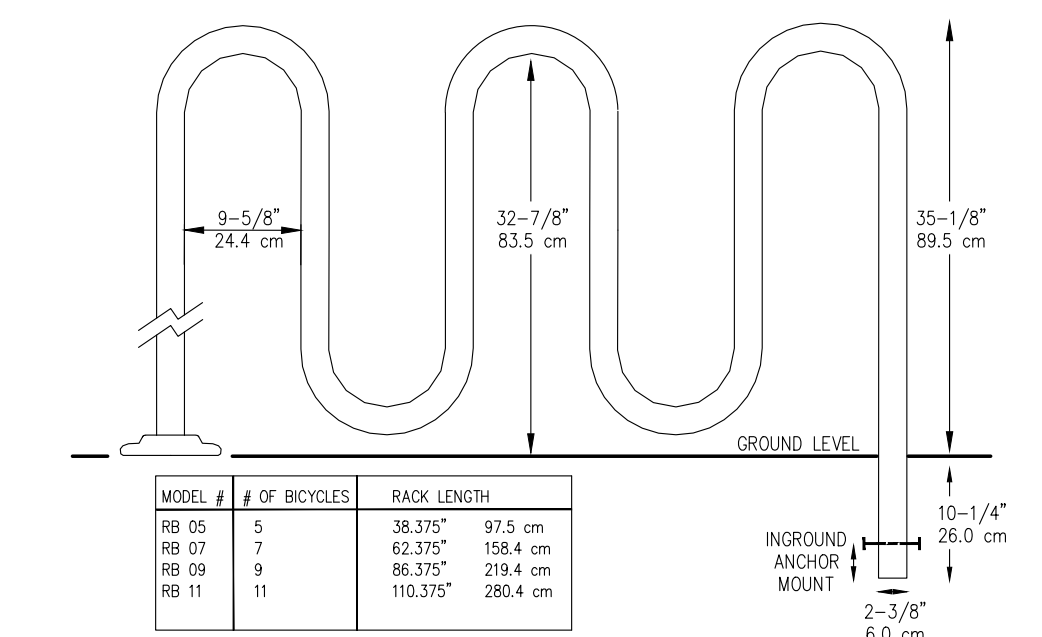
HARTLAND, MI

C07

DETAILS



CONCRETE BUMPER BLOCK
 NOT TO SCALE



Specifications
 All standard units made from ASTM A53/A500 SCHD 40 steel pipe (2.375" O.D. x .154 wall), hydraulically bent with mandrel, hot-dipped galvanized after fabrication.
 The RIBBON® RACK is available in ASTM A312 SCHEDULE 40 TP 304 stainless steel, satin #4 finish - optional extra.

Installation Methods
 In-ground Anchor Mount - standard
 Surface Flange Mount - optional and extra

General Information
 RIBBON and the Brandt International Inc. logo are trademarks of Brandt International Inc., used exclusively by AAA RIBBON RACK CO.
 Delivery time: Six weeks or sooner from receipt of order.

Important Considerations
 Colors (Painting/Coating)—Painting or coating the rack will result in a maintenance problem, as no coating will withstand the abuse of bicycles. Powder coating cannot be maintained; an enamel finish will chip. AAA RIBBON RACK CO. has the best solution where color is essential. Please contact us to find out how to achieve an appropriate color with a minimum of maintenance.

Materials: Steel tubing or aluminum are not suitable materials for a bicycle rack. Pre-galvanized material will flake and crack during manufacture. AAA RIBBON RACK CO. uses heavy-duty steel pipe, hot-dipped galvanized after fabrication to provide security and durability.

Manufacture: Hydraulic bending with a mandrel, as used by AAA RIBBON RACK CO., insures smooth and aesthetic curves on the Ribbon®Rack. Press bending leaves an indentation; other methods flatten outer curves and crimp inner curves.

BIKE RACK DETAIL
 NOT TO SCALE

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
 SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK, OR OF PERSONS ENGAGED IN THE WORK, OR OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.





Know what's below. Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE CONTRACTOR...

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR...

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ATWELL logo and contact information: 866.850.4200, www.atwell-group.com, Two Towne Square, Suite 700, Southfield, MI 48076, 248.447.2000

SECTION 21, TOWN 3 NORTH, RANGE 6 EAST, HARTLAND TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

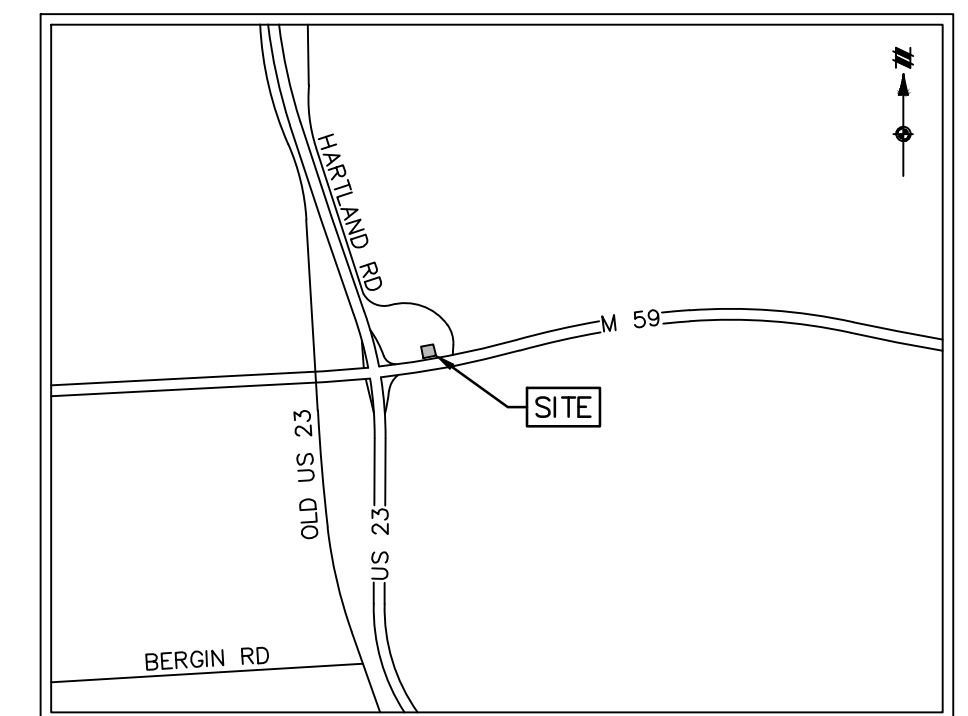
CLIENT: NORR, LLC, ALTA/NSPS LAND TITLE SURVEY, LOCATED IN

DATE: 11/19/2018

Table with columns for REVISIONS, SCALE (1" = 30 FEET), and DR. (JR, GH, CK)

DR. JR GH CK, P.M. C. KELLY, BOOK NA, JOB 18002058, SHEET NO. 1 OF 2

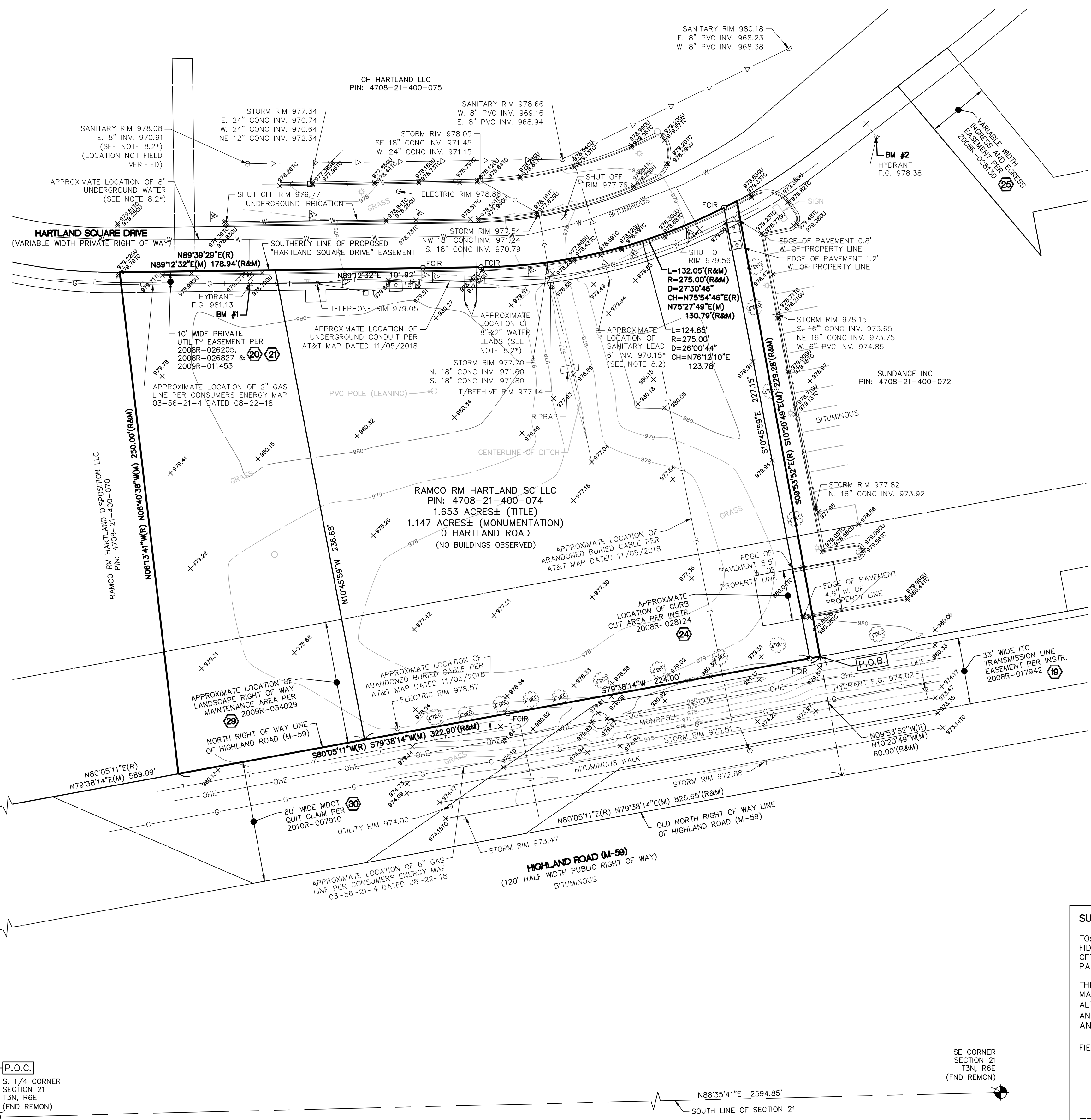
ALTA/NSPS LAND TITLE SURVEY



VICINITY MAP NOT TO SCALE

SITE BENCHMARKS: BENCHMARK 1: ARROW ON TOP OF FIRE HYDRANT 200'± WEST OF ENTRANCE TO TACO BELL... BENCHMARK 2: ARROW ON TOP OF FIRE HYDRANT ON EAST SIDE OF ENTRANCE TO TACO BELL...

NOTES: 1. BEARINGS ARE BASED ON MICHIGAN STATE PLANE COORDINATES (NAD83)... 2. THE SITE SHOWN HEREON IS LOCATED WITHIN ZONE X (AREAS DETERMINED TO BE OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN)... 3. WATER MAIN, STORM SEWER, AND SANITARY SEWER UTILITY STRUCTURES HAVE BEEN FIELD LOCATED WHERE VISIBLE...



LEGEND: SECTION CORNER, FOUND CAPPED IRON ROD, EXISTING SIGN, EXISTING LIGHTPOLE, EXISTING TELEPHONE RISER, EXISTING HYDRANT WITH SHUTOFF, EXISTING MANHOLE/CATCH BASIN, EXISTING ELECTRIC TRANSFORMER, EXISTING BOLLARD, EXISTING TREE, EXISTING GROUND WATER MARKER, UNDERGROUND TELEPHONE MARKER, UNDERGROUND WATER MARKER, EXISTING GROUND ELEVATION, EXISTING TOP OF CURB ELEVATION, PLACE OF BEGINNING, POINT OF COMMENCEMENT, RECORD MEASURED, BOUNDARY LINE, BOUNDARY ADJACENT LINE, EASEMENT LINE, SECTION LINE, APPROXIMATE UNDERGROUND TELEPHONE LINE, APPROXIMATE UNDERGROUND GAS LINE, UNDERGROUND STORM LINE, UNDERGROUND SANITARY LINE, APPROXIMATE UNDERGROUND WATER LINE, EXISTING CENTERLINE OF DITCH, EXISTING CURB AND GUTTER, EXISTING GROUND CONTOUR, SCHEDULE B-II EXCEPTION

SURVEYOR'S CERTIFICATE TO: NORR, LLC, FIDELITY NATIONAL TITLE INSURANCE COMPANY, CFT NV DEVELOPMENTS, PANDA EXPRESS, INC. THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2016 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS...



Symbol	Label	Quantity	Catalog Number	Description	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
□	A	2	VILLA LIGHTING-XGBM-FT-LED-HO-NW-HSS	CONTACT RYAN ZINSELMEIER- 314-531-2600	1	XGBM-FT-LED-HO-NW-HSS.ies	17194	0.86	288.8
□	B	2	VILLA LIGHTING-XGBM-3-LED-HO-NW-HSS	CONTACT RYAN ZINSELMEIER- 314-531-2600	1	XGBM-3-LED-HO-NW-HSS.ies	13942	0.86	288.3
□	D	3	VILLA LIGHTING-XGBM-FT-LED-HO-NW-HSS	CONTACT RYAN ZINSELMEIER- 314-531-2600	1	XGBM-FT-LED-HO-NW-HSS.ies	17194	0.86	577.6

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
CALC SUMMARY- ENTRANCE TO PARKING LOT	+	1.1 fc	1.4 fc	0.7 fc	2.0:1	1.6:1
CALC SUMMARY- FRONT DOOR @ 5'AFF	+	2.5 fc	3.9 fc	1.8 fc	2.2:1	1.4:1
CALC SUMMARY- PAVED SURFACE	+	3.3 fc	9.2 fc	0.6 fc	15.3:1	5.5:1
CALC SUMMARY- PROPERTY LINE	+	0.4 fc	0.8 fc	0.0 fc	N/A	N/A
TRASH ENCLOSURE	+	5.5 fc	7.2 fc	3.8 fc	1.9:1	1.4:1

Note

1. Mounting height of 28' (25'pole)
2. Calculations taken at 6' AFF
3. Contact Villa Lighting- Ryan Zinselmeier-ryan.zinselmeier@villalighting.com- 314.531-2600



Plan View
Scale - 1" = 25ft

PANDA EXPRESS
HARTLAND, MI

Designer	RYAN ZINSELMEIER
Scale	1-8-19
Drawing No.	
Summary	

NAVILITE EXIT & EMERGENCY REMOTE HEADS NR Series

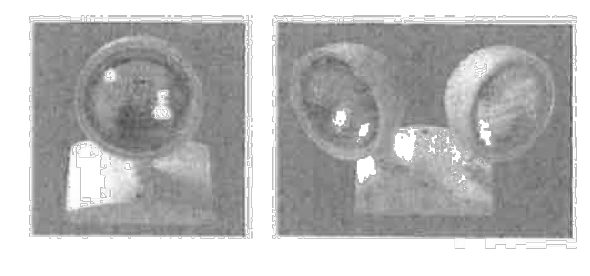
PRODUCT SPECIFICATIONS - NRD SERIES

Construction Round head design • Injection molded, engineering-grade, UV-stable thermoplastic • Impact, scratch, fade and corrosion-resistant • One or two head versions • Off-White (neutral) or black finish.

Lamps Supplied with incandescent wedge base lamps.

Warranty 5-year warranty.

Product specifications subject to change without notice.



ORDERING INFORMATION - Round Remote Lamp Head

Series	Style	Number of Heads	Finish	Lamp Type	Example Cat. #
NR	RD-Round	1-One	WH White	6V5-6V, 5.4W	NRD27WH12V12
		2-Two		6V7-6V, 7.2W	
				6V9-6V, 9W	
				12V7-12V, 7.2W	
			12V9-12V, 9W		
			12V12-12V, 12W		

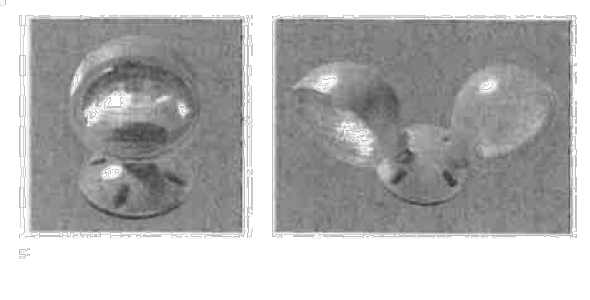
PRODUCT SPECIFICATIONS - NRRM SERIES

Construction Weatherproof - suitable for use in wet locations • Suitable for indoor or outdoor use • Injection molded, engineering-grade, UV-stable thermoplastic heads • Impact, scratch, fade and corrosion-resistant • Gasketed tempered glass lenses • Sealed and gasketed die-cast aluminum base cover • One or two head versions • Industrial gray finish.

Lamps Supplied with incandescent wedge base lamps.

Warranty 5-year warranty.

Product specifications subject to change without notice.



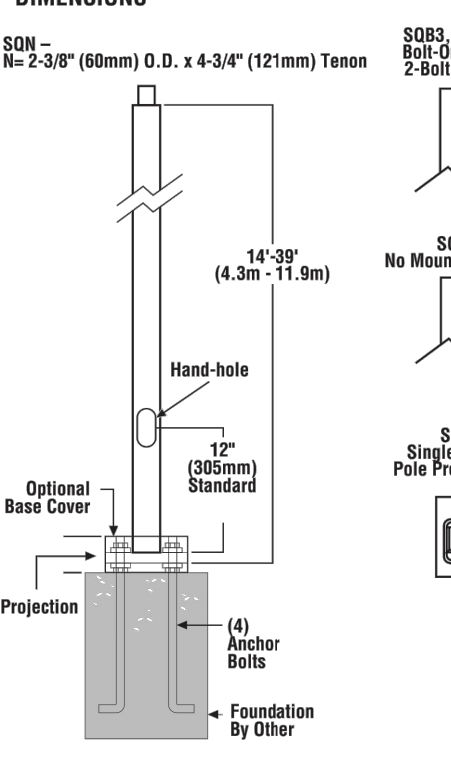
ORDERING INFORMATION - Weatherproof Remote Lamp Head

Series	Style	Number of Heads	Finish	Lamp Type	Example Cat. #
NR	WP-Weatherproof	1-One	GT Gray	6V5-6V, 5.4W	NRRP15V6V7
		2-Two		6V7-6V, 7.2W	

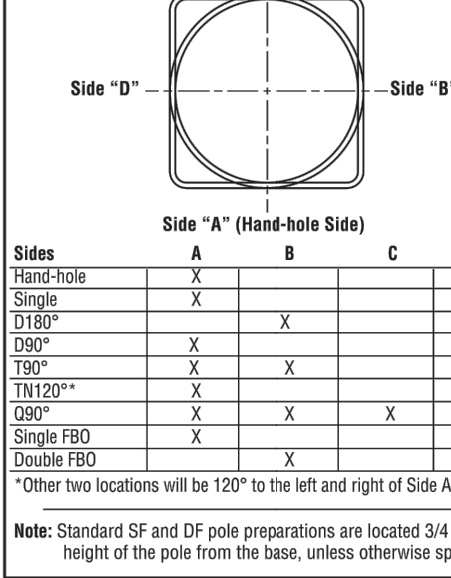
1300 S. Wolf Road • Des Plaines, IL 60018 • Phone (847) 627-9880 • Fax (847) 627-2925
 220 Chrysler Drive • Brampton, Ontario • Canada L6S 4S6 • Phone (905) 792-7335 • Fax (905) 792-0064
 Visit us at www.jonlightgroup.com Printed in U.S.A., ©2014 Acuity Brands Lighting, Inc.

STEEL SQUARE POLES

DIMENSIONS



DRILLING LOCATIONS



Dimensions	Weight (lb.)
4\"/>	

POLE SHAFT - Pole shaft is electro-welded ASTM-A500 Grade C steel tubing with a minimum yield strength of 50,000 psi. On Tenon Mount steel poles, tenon is 2-3/8\"/>

HAND-HOLE - Standard hand-hole location is 12\"/>

BASE - Pole base is ASTM-A36 hot-rolled steel plate with a minimum yield strength of 36,000 psi. Two-piece square base design is optional.

ANCHOR BOLTS - Poles are furnished with anchor bolts featuring zinc-plated double nuts and washers. Galvanized anchor bolts are optional. Anchor bolts conform to ASTM F 1554-07a Grade 55 with a minimum yield strength of 55,000 psi.

GROUND LUG - Ground lug is standard.

DUPLEX RECEPTACLE - Weatherproof duplex receptacle is optional.

GROUND FAULT CIRCUIT INTERRUPTER - Self-testing ground fault circuit interrupter is optional.

FINISHES - Each pole is finished with DuraGrip®. LSI's baked-on polyester-powder finishing process which electrostatically applies and fuses a polyester powder to the pole. Provides an extremely smooth and uniform finish to withstand extreme weather changes without cracking or peeling, and features a five-year limited warranty. Optional DuraGrip® Plus features the added protection of a 3.0 to 5.0 mil thickness of polyester-powder finish plus an inner coating, as well as a seven-year limited warranty.

DETERMINING THE LUMINAIRE/POLE COMBINATION FOR YOUR APPLICATION:

- Select luminaire from luminaire ordering information
- Select bracket configuration if required
- Determine EPA value from luminaire/bracket/EPA chart
- Select pole height
- Select MPH to match wind speed in the application area (See windspeed map).
- Confirm pole EPA equal to or exceeding value from note above
- Consult factory for special wind load requirements and banner brackets

Height	EPA 1			Outside Material		Bolt Circle
	70 MPH	80 MPH	90 MPH	4\"/>		
14 (4.3m)	23.3	16.7	13.2	8.0	4\"/>	
16 (4.9m)	18.6	13.1	9.3	6.5	4\"/>	
18 (5.5m)	14.4	9.7	6.5	4.2	4\"/>	
20 (6.1m)	11.0	7.0	4.2	2.2	4\"/>	
22 (6.7m)	8.7	5.8	3.9	1.9	4\"/>	
24 (7.3m)	7.7	4.9	3.5	1.7	4\"/>	
26 (7.9m)	7.0	4.0	3.2	1.5	4\"/>	
28 (8.5m)	6.5	3.8	3.0	1.4	4\"/>	
30 (9.1m)	6.1	3.6	2.9	1.3	4\"/>	
32 (9.7m)	5.8	3.5	2.8	1.3	4\"/>	
34 (10.3m)	5.6	3.4	2.7	1.2	4\"/>	
36 (10.9m)	5.4	3.3	2.6	1.2	4\"/>	
38 (11.5m)	5.3	3.2	2.6	1.2	4\"/>	
40 (12.1m)	5.2	3.2	2.5	1.2	4\"/>	
42 (12.7m)	5.1	3.1	2.5	1.2	4\"/>	
44 (13.3m)	5.0	3.1	2.5	1.2	4\"/>	
46 (13.9m)	4.9	3.0	2.5	1.2	4\"/>	
48 (14.5m)	4.8	3.0	2.5	1.2	4\"/>	
50 (15.1m)	4.8	3.0	2.5	1.2	4\"/>	
52 (15.7m)	4.7	2.9	2.5	1.2	4\"/>	
54 (16.3m)	4.7	2.9	2.5	1.2	4\"/>	
56 (16.9m)	4.6	2.9	2.5	1.2	4\"/>	
58 (17.5m)	4.6	2.9	2.5	1.2	4\"/>	
60 (18.1m)	4.6	2.9	2.5	1.2	4\"/>	
62 (18.7m)	4.5	2.9	2.5	1.2	4\"/>	
64 (19.3m)	4.5	2.9	2.5	1.2	4\"/>	
66 (19.9m)	4.5	2.9	2.5	1.2	4\"/>	
68 (20.5m)	4.5	2.9	2.5	1.2	4\"/>	
70 (21.1m)	4.4	2.9	2.5	1.2	4\"/>	
72 (21.7m)	4.4	2.9	2.5	1.2	4\"/>	
74 (22.3m)	4.4	2.9	2.5	1.2	4\"/>	
76 (22.9m)	4.4	2.9	2.5	1.2	4\"/>	
78 (23.5m)	4.4	2.9	2.5	1.2	4\"/>	
80 (24.1m)	4.4	2.9	2.5	1.2	4\"/>	
82 (24.7m)	4.4	2.9	2.5	1.2	4\"/>	
84 (25.3m)	4.4	2.9	2.5	1.2	4\"/>	
86 (25.9m)	4.4	2.9	2.5	1.2	4\"/>	
88 (26.5m)	4.4	2.9	2.5	1.2	4\"/>	
90 (27.1m)	4.4	2.9	2.5	1.2	4\"/>	
92 (27.7m)	4.4	2.9	2.5	1.2	4\"/>	
94 (28.3m)	4.4	2.9	2.5	1.2	4\"/>	
96 (28.9m)	4.4	2.9	2.5	1.2	4\"/>	
98 (29.5m)	4.4	2.9	2.5	1.2	4\"/>	
100 (30.1m)	4.4	2.9	2.5	1.2	4\"/>	

EPA based on ANSI/ASCE 7-03. Refer to EPA information on next page. For applications in Canada and areas using code requirements other than ANSI/ASCE 7-03, consult factory. If luminaire weight exceeds 250 lbs. (113.4 kg), consult factory.

ARRA Funding Compliant

Project Name _____ Fixture Type _____ 11/11/15

_____ © 2015

_____ LSI INDUSTRIES INC.

STEEL SQUARE POLES

POLE ORDERING INFORMATION

Pole Series	Material	Height*	Mounting Configuration	Pole Finish	Options
Ball-on-Arm Mount - See pole selection guide for patterns and fixture matches.	6110 - 11 Ga. Steel	14	S - Single/Parallel	BRZ - Bronze	GA - Galvanized Anchor Bolts
430BS - 3\"/>					

Description	Order Number	Order Number
4BC - 4\"/>		

FOOTNOTES:
 1 - See Area Lighting Brackets - Bolt-on and XAS3XMM Area Lighting Brackets pages for Internal Slip-Filter brackets.
 2 - Pole heights will have +/- 1/2\"/>

Bolt Circle	EPA 1			
	4\"/>			
4\"/>				

Project Name _____ Fixture Type _____ 10/22/15

_____ © 2015

_____ LSI INDUSTRIES INC.

NRG®1100 FULL CUTOFF COMPACT WALLPACK

Job _____ Type _____ Approvals _____

APPLICATIONS

- Use for wall perimeter or entry at mounting heights of 8-15 feet
- Hubbell Outdoor Lighting's newest NRG® family to be introduced late in the second quarter 2007 is packed with owner benefits
- The StarView compliant optics allow no up light, saving energy and keeping the neighbors happy
- The decorative styling is also rugged with one piece polycarbonate front, painted bronze or white on the inside, that resists rocks and other small projectiles
- The die cast housing provides rigid mounting, conduit and photoconductive hubs, easy mount design and heat dissipation

LISTINGS

- Listed to UL1588 for use in wet locations

CERTIFICATIONS/LISTINGS

UL E-Listed to UL1588 for use in wet locations

ORDERING INFORMATION

Catalog Number ¹	Wa Voltage/Voltage	Finish	Weight (lb. /kg)
Pulse Start Metal Halide			
NRG-1111-W	100w 120, 277, 347V	white	12 (5.4)
High Pressure Sodium			
NRG-1112-W	100w 120, 277, 347V	white	10 (4.5)
NRG-1172-W	70w 120, 277, 347V	white	9 (4.1)
Electronic Fluorescent			
NRG-1143-W	42w 120-277V, 60/50Hz	white	7 (3)

1 - All items include metric base and compact fluorescent lenses. CFL units use universal socket and are capable of operating 35 or 13w RL T-lamps if substituted in the field. CFL lamps are 3500K, SDCW-t base.

ACCESSORIES - Order Separately

Catalog Number	Description	Catalog Number	Description
PBT-1	Photocell, button type, 120V	NRG1100FW	Polycarbonate front housing-white, 70w max.
PBT-234	Photocell, button type, 277V	NRG1111FW	Polycarbonate front housing-white, 100w max.

REPLACEMENT PARTS

Hubbell Outdoor Lighting • 701 Millennium Boulevard • Greenville, SC 29607 • Phone: 864-578-1000
 Due to our continued efforts to improve our products, product specifications are subject to change without notice.
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LED AREA LIGHTS - (XGBM)

US patent 0574994 & 7,828,456 and MX patent 29631 and US & Int'l. patents pending

SMARTREC™ THERMAL CONTROL - LSI drivers feature integral sensor which reduces drive current when ambient temperatures exceed rated temperature.

OCCUPANCY SENSING (IMS) - Optional integral passive infrared motion sensor activates switching of luminaire light levels. High light level is activated and increases to full bright in 1-2 seconds upon detection of motion. Low light level (30% maximum drive current) is activated when target zone is absent of motion activity for ~2 minutes and ramps down (10-15 seconds) to low level to allow eyes time to adjust. Sensor is located on the front of optical assembly and rotates with the optic. Sensor optic has a detection cone of approximately 45°. Examples of detection - occurs 30' out from a 30' mounting height pole; occurs 20' out from a 20' mounting height pole.

ENERGY SAVING CONTROL OPTIONS - DIM - 0-10 volt dimming enabled with controls by others. BLS - Bi-level switching responds to external line voltage signal from separate 120-277V controller or sensor (by others), with low light level decreased to 30% maximum drive current.

EXPECTED LIFE - Minimum 60,000 hours to 100,000 hours depending upon the ambient temperature of the installation location. See LSI web site for specific guidance.

LEDS - Select high-brightness LEDs in Cool White (5000K) or Neutral White (4000K) color temperatures, 70 CRI.

DISTRIBUTION/PERFORMANCE - Types 3, 5, FT and FTA available - field rotatable reflectors.

HOUSING - Squares, die-formed aluminum. Fully enclosed weather-light housing contains factory pre-wired drivers and field connections.

TOP ACCESS COVER - Gasketed, tethered top-access cover provides ease of installation and allows for easy driver access. Four captive stainless-steel fasteners secure the top-access cover to the housing.

OPTICAL UNIT - Clear tempered optical grade flat glass lens sealed to aluminum housing creates an IP67 rated, sealed optic (includes pressure stabilizing breather). Optical unit can be easily field rotated in 90o increments. Directional arrow on optics allows alignment without the unit being energized.

MOUNTING - 2-1/2\"/>

LED AREA LIGHTS - (XGBM)

LUMINAIRE ORDERING INFORMATION

Prefix	Distribution	Light Source	Drive Current	Color Temperature	Input Voltage	Finish	Optional Controls	Optional Sensor/Options
XGBM - LED	FT - Forward Throw FIA - Forward Throw Autonomous 3-Type III 5-Type V	LED	Low - Low Watt SS - Super Saver HS - High Output	Cool White (5000K) NW - Neutral White (4000K)	UL - Universal Voltage 110V-277V	BLK - Black BRN - Bronze GRF - Graphite MSV - Metallic Silver PLP - Platinum Plus SVG - Satin Verde Green WHI - White	Wireless Control System ² PDM - Motion Control System PDM - hasSatellite Pattern Control System GSM - 64k Gsm System GSM - hasSatellite Gold Control System DM - 5-15 volt dimming (required for satellite fixtures)	Sensor: IMS - Integral Motion Sensor ³ PC120 - 120V Button-Type PhotoCell PC200 - 200V Button-Type PhotoCell PC240 - 240V Button-Type PhotoCell PC277 - 277V Button-Type PhotoCell PC347 - 347V Button-Type PhotoCell

Optional Color Decals
 45 - Light Gold
 20 - Charcoal Metallic
 05 - Black
 94 - Blue Metallic
 08 - Dark Green
 51 - Dark Red
 21 - Tomato Red
 22 - White
 700 - Acute Silver Metallic

Stand-Alone Control
 (Dimming - None)
 DM - 5-15 volt dimming⁴
 05 - Bi-level Switching⁵
 (from external signal)
 21 - Bi-level Switching⁵
 (from external signal - required 120-277V controls system voltage)

Stand-Alone Control
 IMX - 5' Bracket (S and D180 only)
 TB - Terminal Block

LUMINAIRE EPA CHART - XGBM

Series	1\"/>	
D180	4.7	4.8
D90	4.7	4.8
T90	7.2	7.3
TW120	7.3	7.3
OS1	8.8	8.8

ACCESSORY ORDERING INFORMATION⁶

Description	Order Number	Description	Order Number
XGBM-HSS House Side Shield (Back only)	482002 BLK	DP208, 240 Double Facing (208V, 240V)	DP208, 240P
DP99 - Round Pole Plate	16201 BLK	DP440 Double Facing (480V)	DP440P
BKS-BO-WM - CLR - Wall Mount Plate	12311 CLR	FK47 Single Facing (24V)	FK47P
BKA-BO-BA-CLR - Radius Arm	16201 CLR	PMS120 - 120V Pole-Mount Occupancy Sensor	S180290L.P
BKA-BO-S-CLR - L-shaped Bracket for round or square poles	14418 CLR	PMS208/240 - 208, 240V Pole-Mount Occupancy Sensor	S842592L.P
FK150 Single Facing (120V)	FK150P	PMS277 - 277V Pole-Mount Occupancy Sensor	S180291L.P
FK277 Single Facing (277V)	FK277P	PMS480 - 480V Pole-Mount Occupancy Sensor	S842600L.P

FOOTNOTES:
 1 - Use with 3\"/>

DIMENSIONS

PANDA RESTAURANT GROUP INC.
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 Rosemead, California
 91770
 Telephone: 626.799.9898
 Facsimile: 626.372.8288

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NO.	DESCRIPTION

ISSUE DATE: _____
 PLANNING COMMISSION 01-11-2019

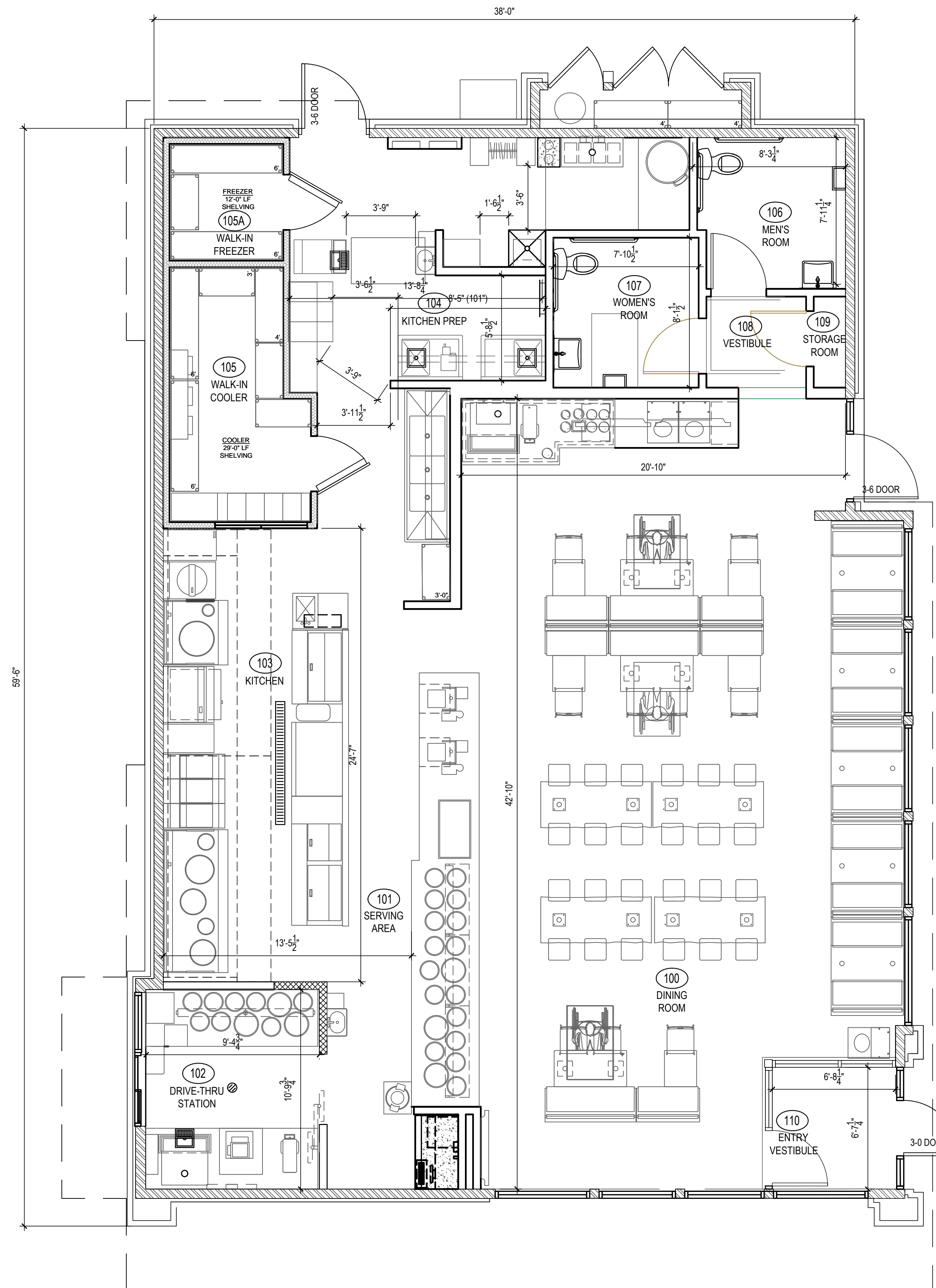
DRAWN BY: _____ CSW

PANDA PROJECT #: S8-19-D6628
 ARCH PROJECT #: JCDT18-0182

PANDA EXPRESS
 TRUE WARM & WELCOME 2200
 Hartland Square Rd. (US-23 & M-59)
 HARTLAND, MI 48353

GENERAL NOTES:

- BUILDING GROSS AREA = 2,440 SF
- BUILDING NET / USABLE AREA = 2,229 SF
- PROPOSED USE: ASSEMBLY (A-2)



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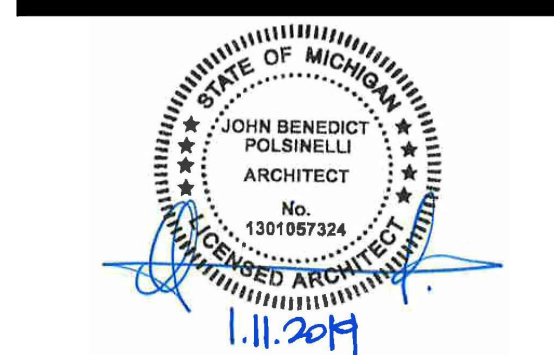
ISSUE DATE:

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PANDA EXPRESS
 TRUE WARM & WELCOME 2200
 Hartland Square Rd. (US-23 & M-59)
 HARTLAND, MI 48353

A-101

FLOOR PLAN

FLOOR PLAN 1
 Scale = 1/4" = 1'-0" A-101

Attachment: 14_Panda Express Site Plans dated January 7, 2019 (2978 - Site Plan #19-002, Panda Express)



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NO.	DESCRIPTION	DATE

DRAWN BY: CSW

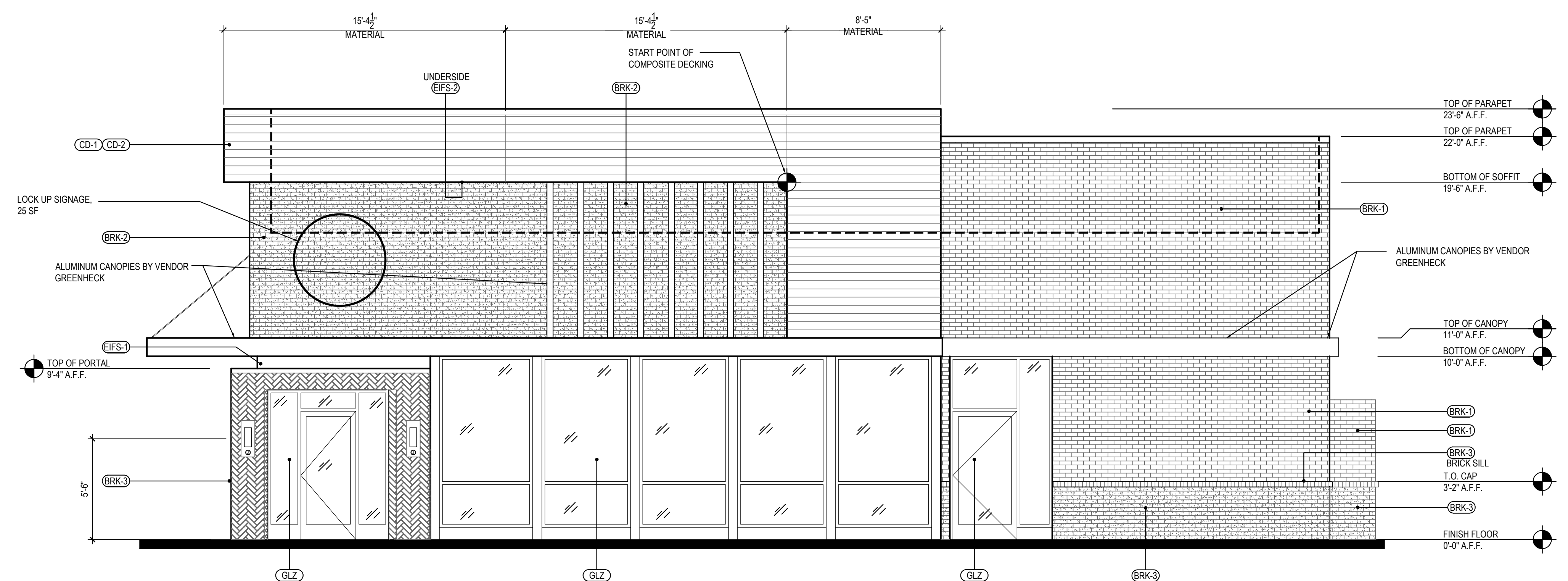
PANDA PROJECT #: S8-19-D6628
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TRUE WARM & WELCOME 2200
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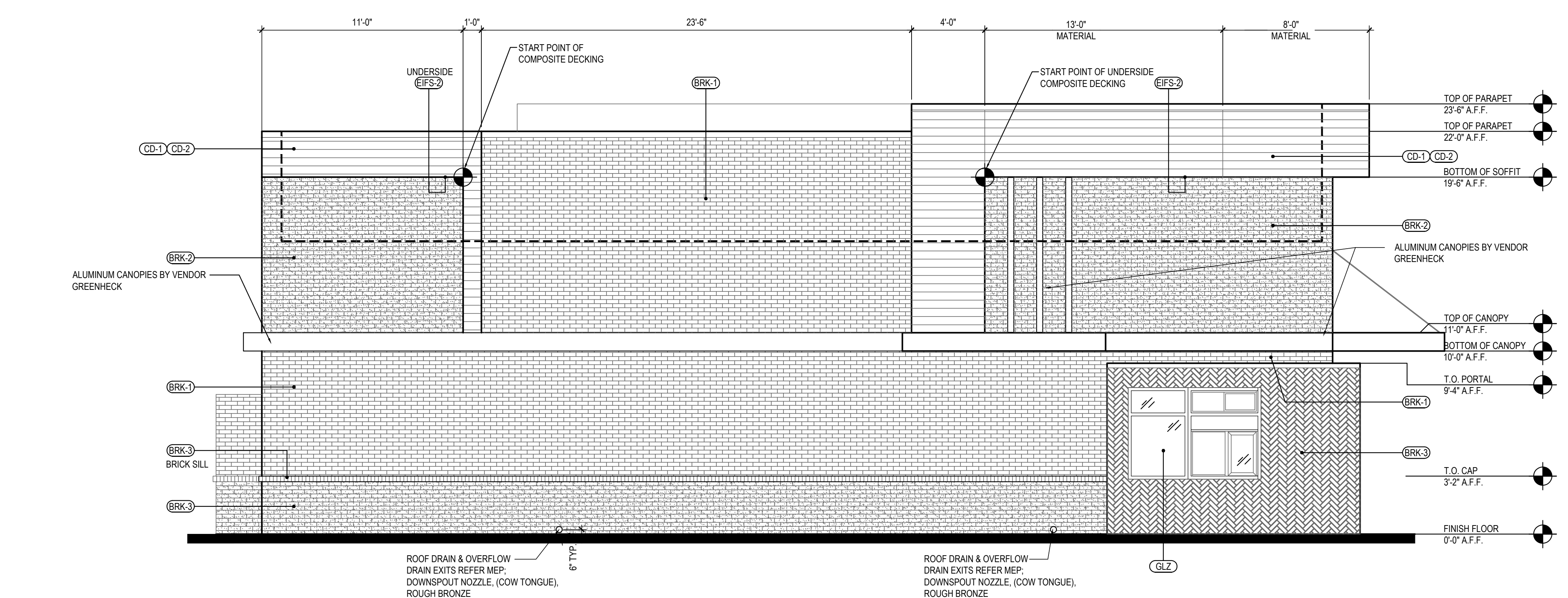
A-201

EXTERIOR ELEVATIONS



*SEE SHEET A-200 FOR EXTERIOR FINISH SCHEDULE

EAST ELEVATION 2
Scale= 1/4" = 1'-0" A-201



ROOF DRAIN & OVERFLOW
DRAIN EXITS REFER MEP,
DOWNSPOUT NOZZLE, (COW TONGUE),
ROUGH BRONZE

WEST ELEVATION 1
Scale= 1/4" = 1'-0" A-201

Attachment: 14_Panda Express Site plans dated January 7, 2019 (2978 : Site Plan #19-002, Panda Express)



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REVISIONS:

Table with 2 columns: Description, Date. It is currently empty.

ISSUE DATE:

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PANDA PROJECT #: S8-19-D6628

ARCH PROJECT #: JCDT18-0182



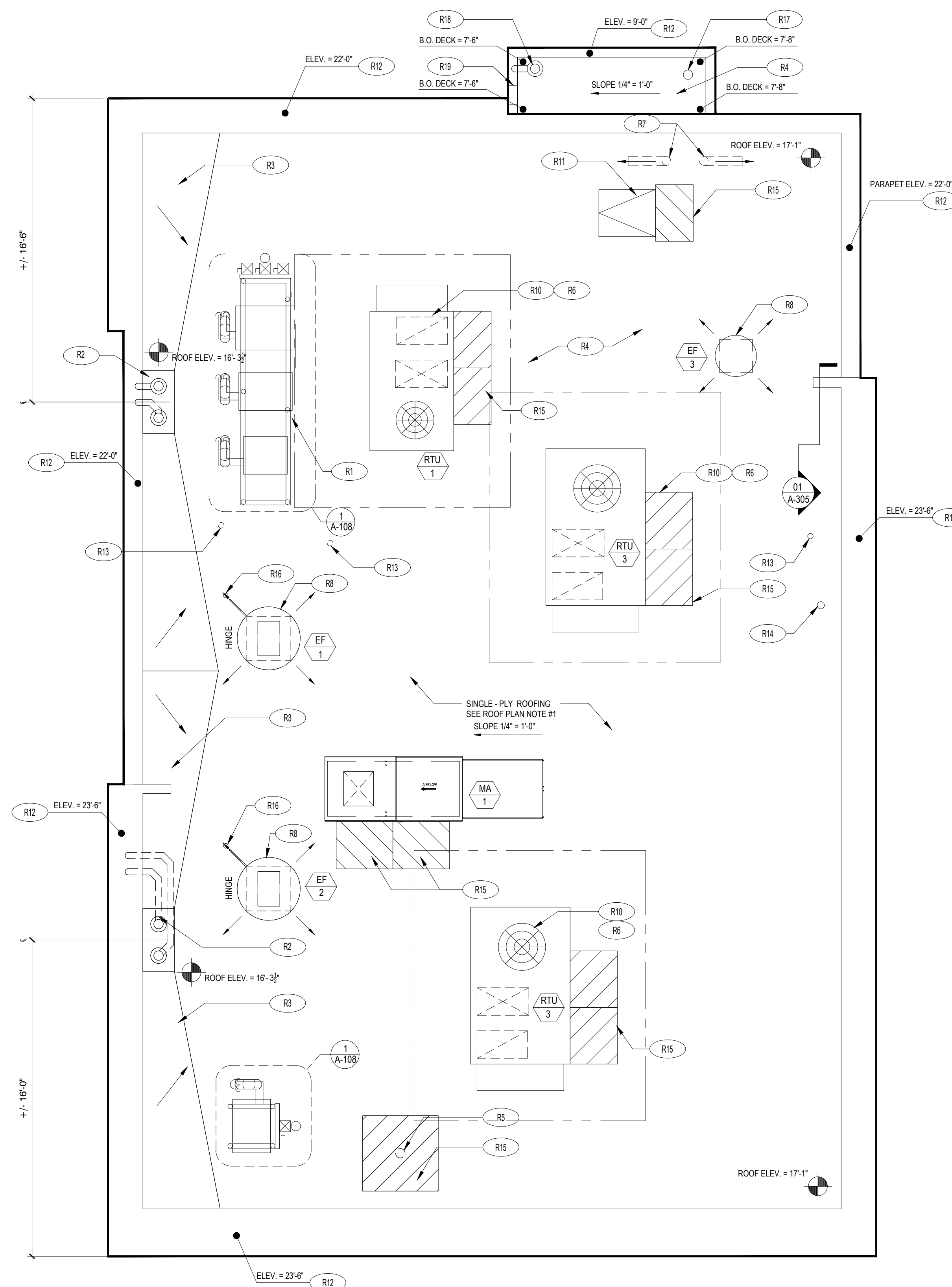
PANDA EXPRESS

TRUE WARM & WELCOME 2200
Hartland Square Rd. (US-23 & M-59)
HARTLAND, MI 48353

A-107

ROOF PLAN

ROOF PLAN 1
Scale= 1/4" = 1'-0" A-107



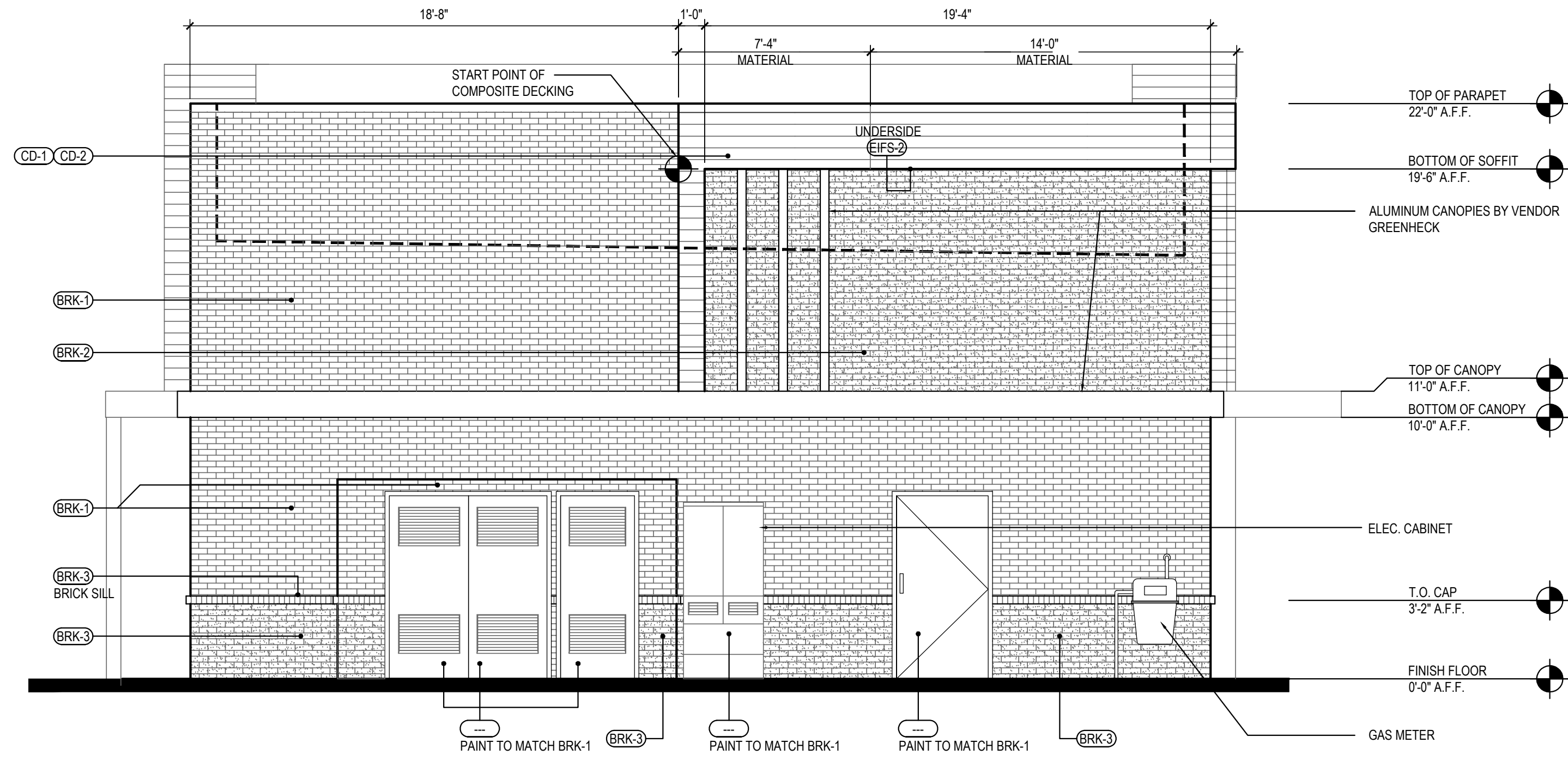
ROOF PLAN KEYNOTES:

- R1 REF: EQUIPMENT RACK (SEE SHEET A-108)
- R2 4" ROOF DRAIN AND OVERFLOW DRAIN
- R3 PROVIDE CRICKET TO ASSURE POSITIVE ROOF DRAINAGE
- R4 SINGLE - PLY ROOFING
- R5 GALV RIGID METAL CONDUIT & WEATHERHEAD AND PULL STRING FOR SATELLITE CABLE. EXACT LOCATION ON ROOF TO BE COORDINATED WITH PANDA PROJECT MANAGER AND SERVICE PROVIDER.
- R6 ROOF TOP MECHANICAL UNIT
- R7 WATER HEATER VENT - SEE MEP PLANS. OFFSET VENTS AS REQUIRED TO MAINTAIN MIN. 10'-0" AWAY FROM AIR INTAKE SYSTEMS ON EQUIPMENT. POSITION EXHAUSTS IN OPPOSITE DIRECTIONS
- R8 EXHAUST FAN
- R10 MECHANICAL UNIT CURB.
- R11 ROOF ACCESS HATCH LOCATE BETWEEN 2 ADJACENT TRUSSES
- R12 TOP OF PARAPET
- R13 PLUMBING VENT
- R14 WEATHER PROOF HYDRANT
- R15 PROVIDE WALK-WAY PAD AS SHOWN.
- R16 POWER SUPPLY LOCATION FOR ROOFTOP EXHAUST FANS FOR KITCHEN HOOD
- R17 ATTIC/ROOF CONVECTION VENT WITH WEATHER CAP AND INSECT SCREEN
- R18 4" ROOF DRAIN
- R19 OVERFLOW SCUPPER

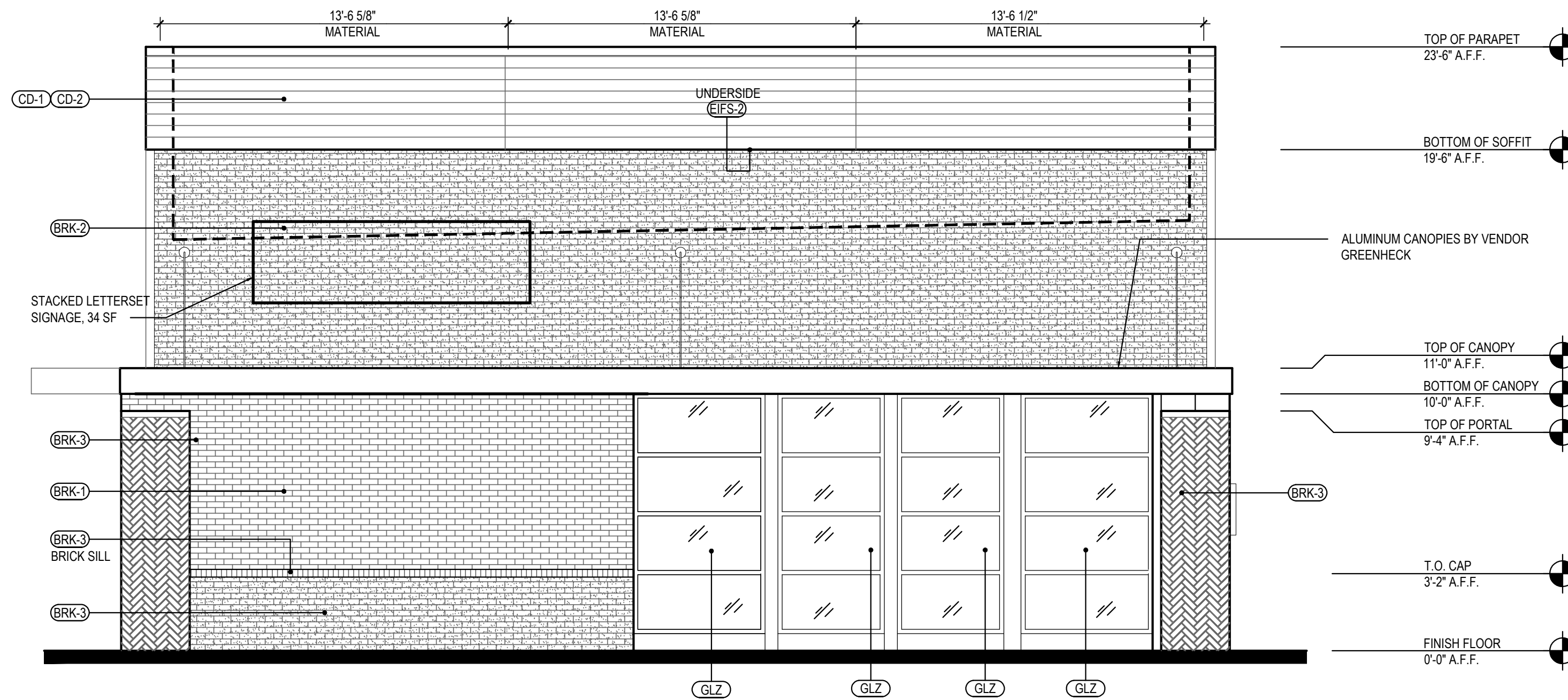
Attachment: 14_Panda Express Site Plans dated January 7, 2019 (2978 - Site Plan #19-002, Panda Express)

EXTERIOR FINISH SCHEDULE INSTALLED AND FURNISHED BY: G.C. UNLESS NOTED OTHERWISE

NO	MANUFACTURER	MFG#	COLOR	FINISH	NOTES
BRK-1	YANKEE HILL BRICK	-	CREIGHTON GREY	-	BUILDING BODY GREY MORTAR
BRK-2	YANKEE HILL BRICK	-	FI MANG	-	BUILDING BODY GREY MORTAR
BRK-3	YANKEE HILL BRICK	-	DARK IS VELOUR	-	ENTRY PORTAL, DRIVE-THRU & WAINSCOT GREY MORTAR TO MATCH
CD-1	FIBERON	HORIZON	IPE	60% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE)	COMPOSITE DECKING - CONTACT: BILL ROSS 704-756-1980 EMAIL: Bill@fiberondecking.com
CD-2	FIBERON	HORIZON	TUDOR BROWN	40% MATERIAL COVERAGE - RANDOM MIX (NON-GROOVE)	COMPOSITE DECKING - CONTACT: BILL ROSS 704-756-1980 EMAIL: Bill@fiberondecking.com
GLZ	GLAZING	-	-	-	-
EIFS-2	STO	STOTHERM ESSENCE SYSTEM	SW 7067 CITYSCAPE	FINE	SOFFITS, OVERHANGS



NORTH ELEVATION 2
Scale= 1/4" = 1'-0" A-200



SOUTH ELEVATION 1
Scale= 1/4" = 1'-0" A-200



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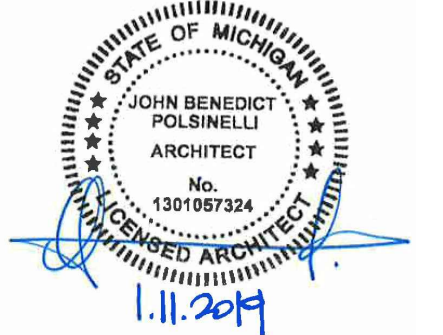
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NO.	DATE	DESCRIPTION
1	01-11-2019	PLANNING COMMISSION

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DRAWN BY: CSW
PANDA PROJECT #: S8-19-D6628
ARCH PROJECT #: JCDT18-0182



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TRUE WARM & WELCOME 2200
Hartland Square Rd. (US-23 & M-59)
HARTLAND, MI 48353

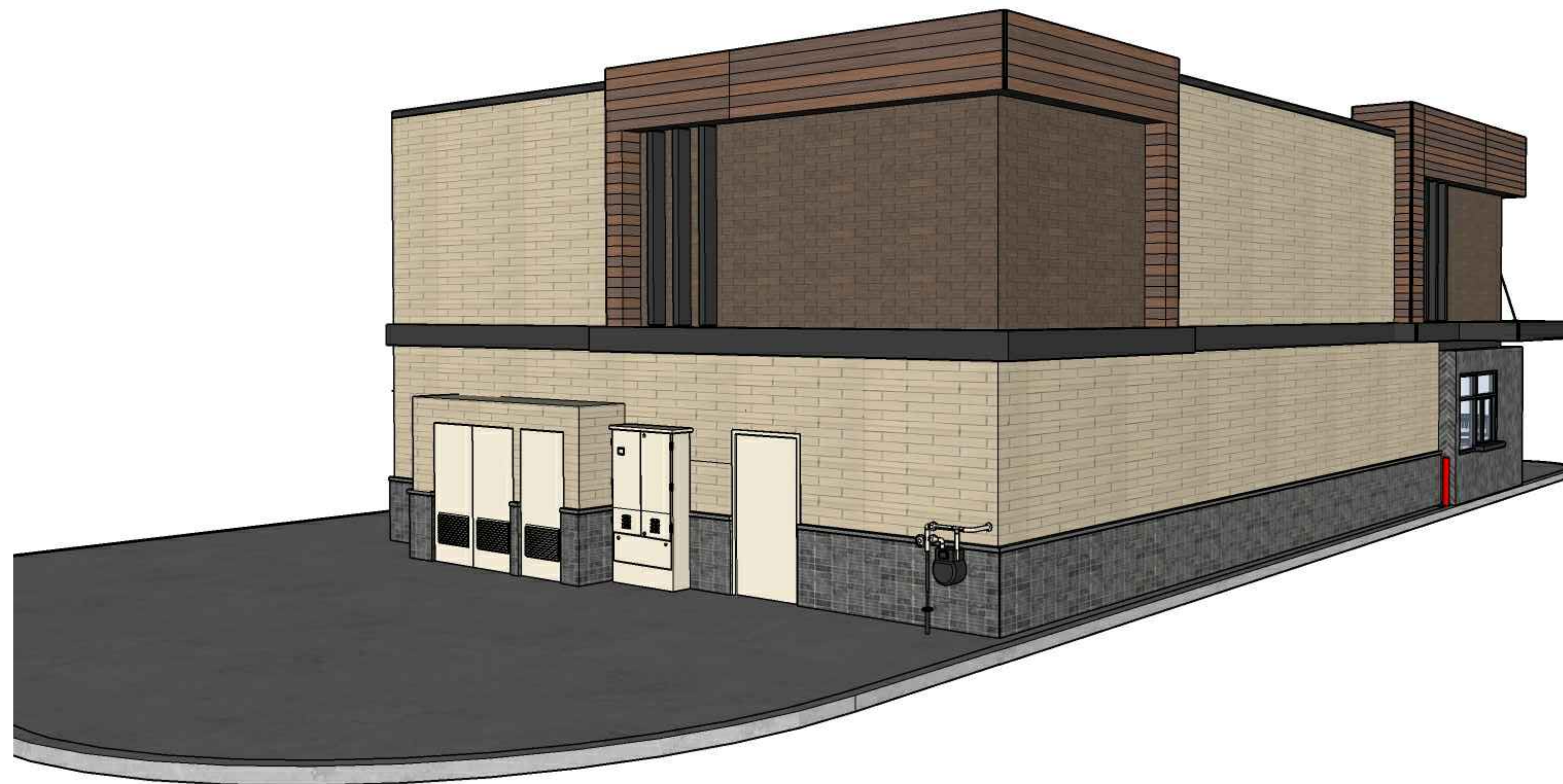
A-200

EXTERIOR ELEVATIONS



PERSPECIVE LOOKING NORTHWEST 2

Scale= NTS A-202



PERSPECTIVE LOOKING SOUTHEAST 1

Scale= 1/4" = NTS A-202



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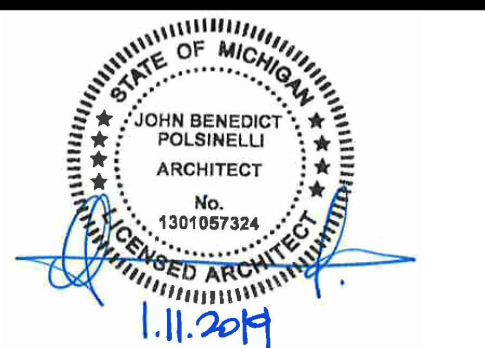
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No.	Description

DRAWN BY: XXX

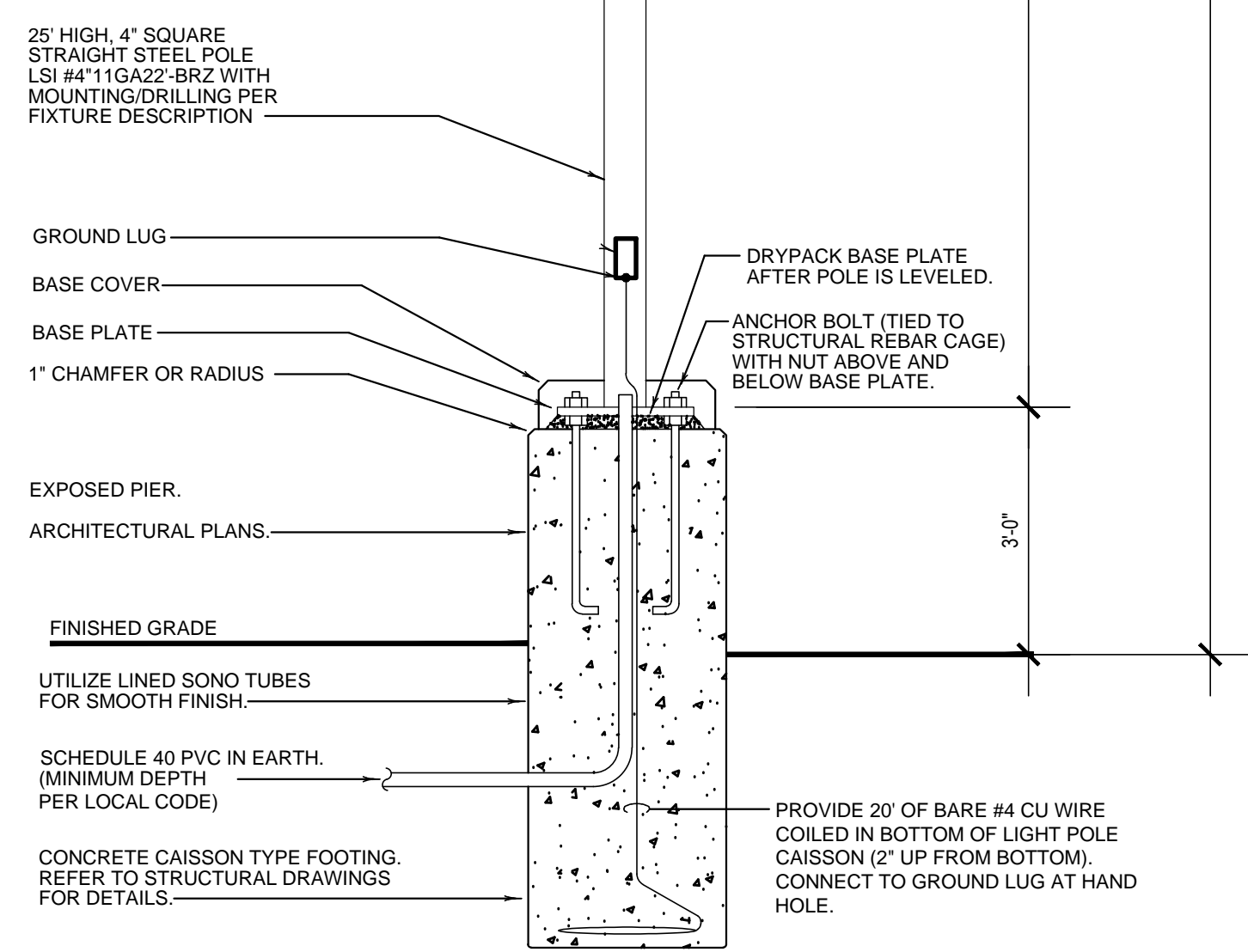
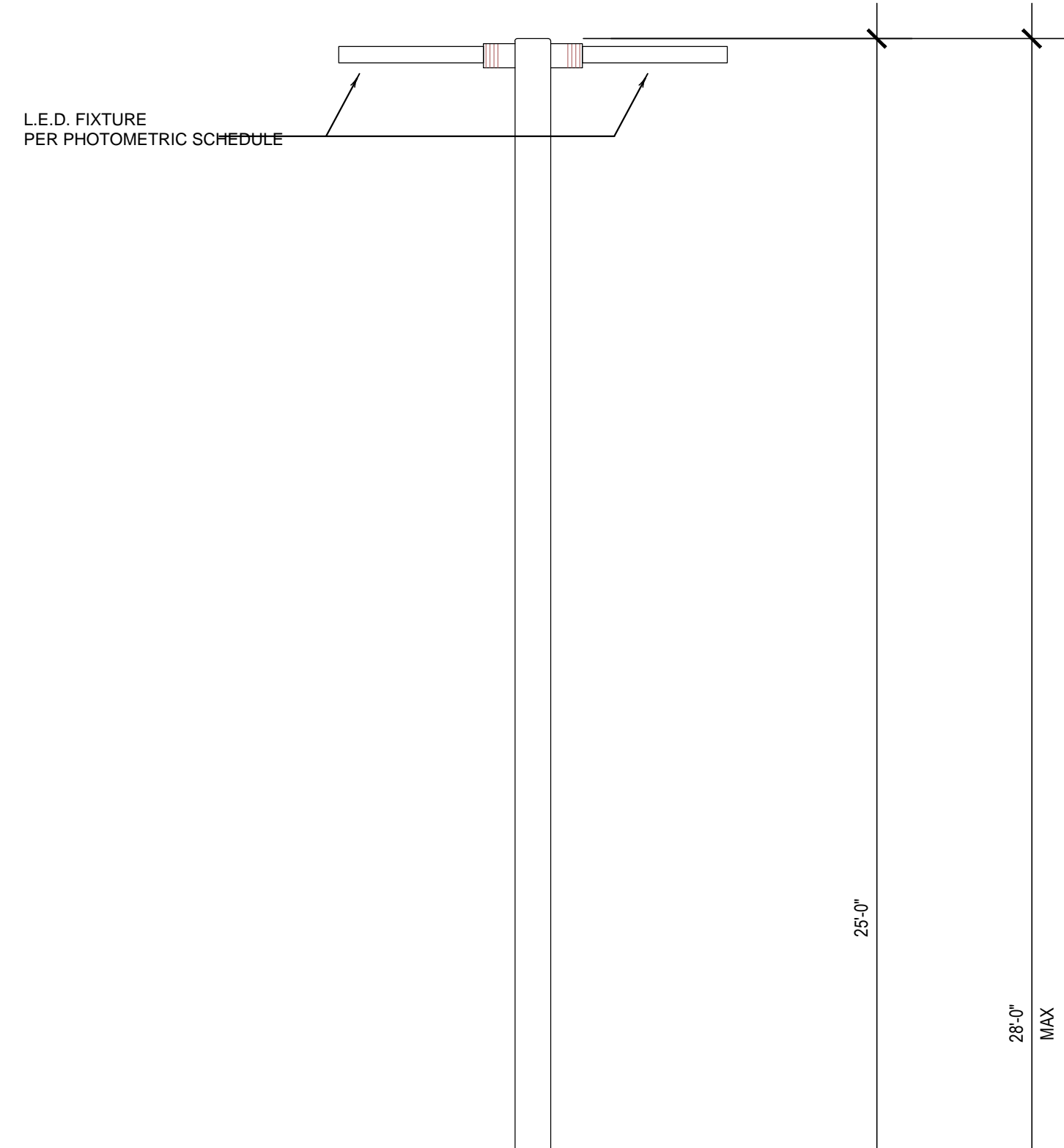
PANDA PROJECT #: S8-19-D6628
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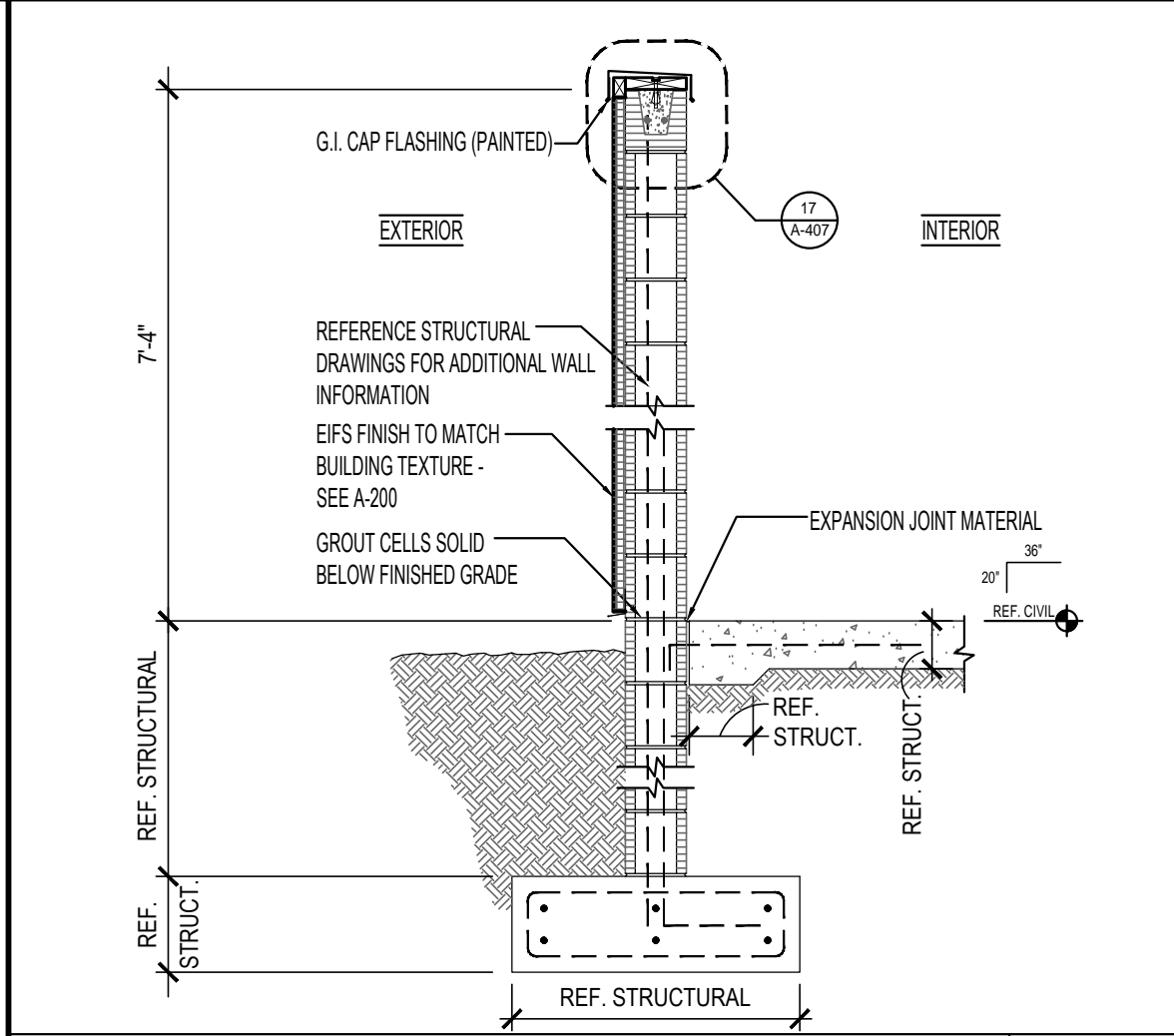
PANDA EXPRESS
TRUE WARM & WELCOME 2200
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A-202

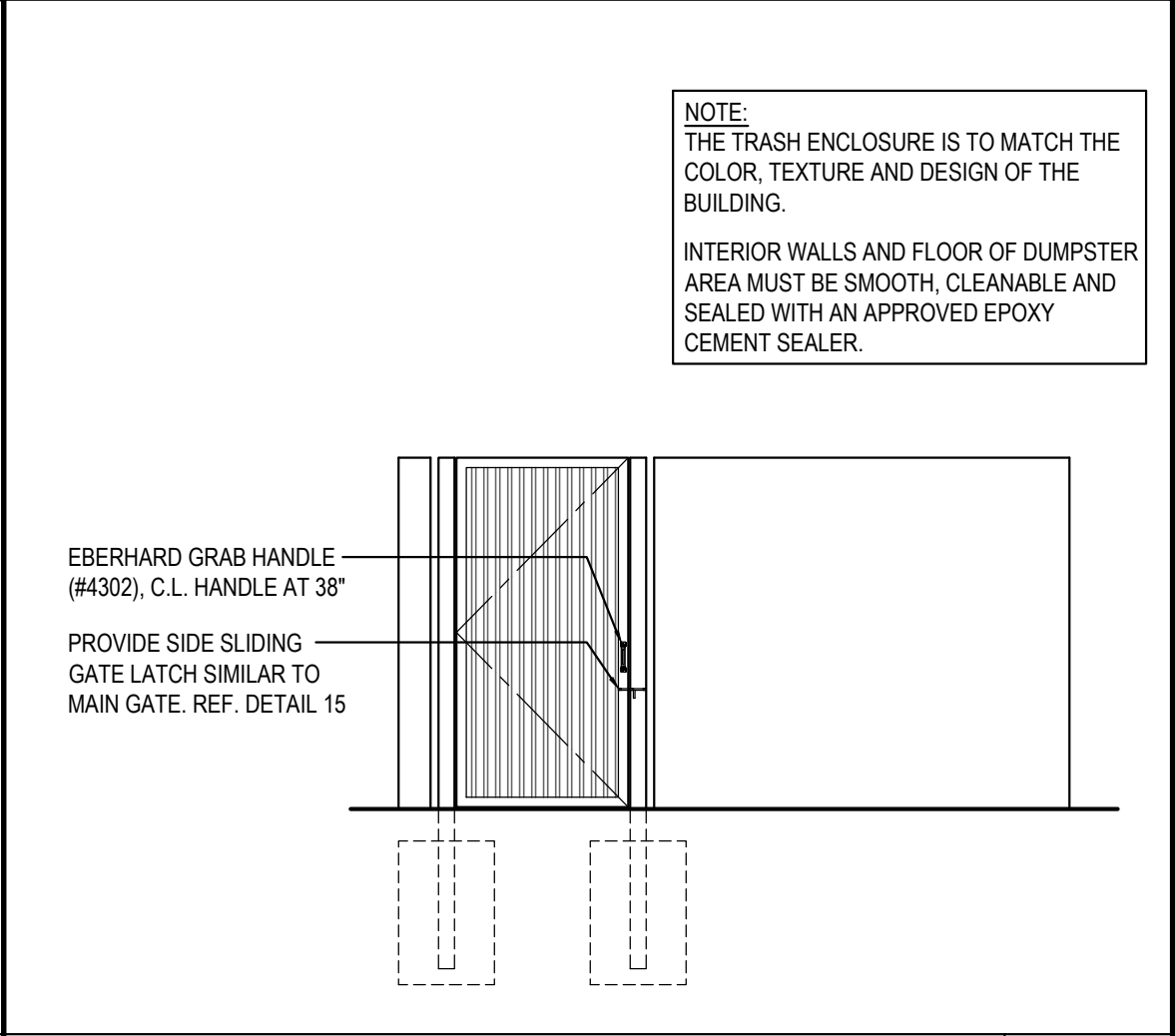
EXTERIOR PERSPECTIVES



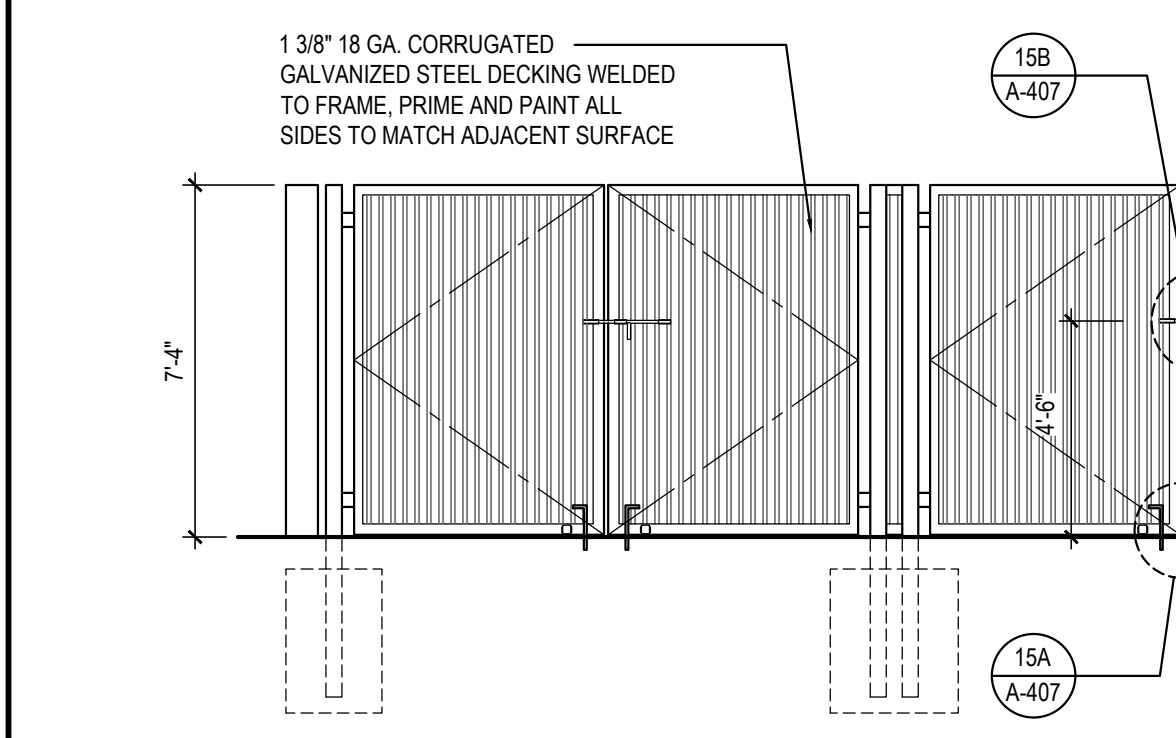
LIGHT AND POLE ASSEMBLY 6
Scale= 1/2" = 1'-0" **A-300**



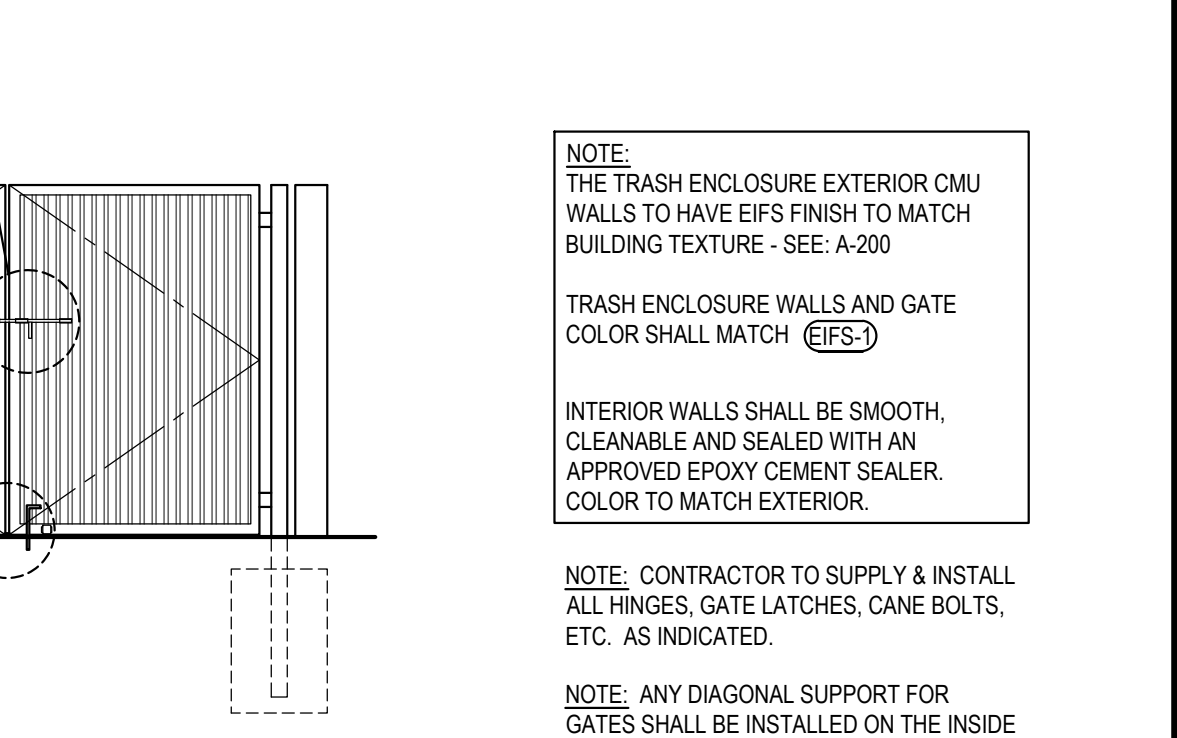
TRASH ENCLOSURE WALL SECTION 8
Scale= 1/2" = 1'-0" **A-300**



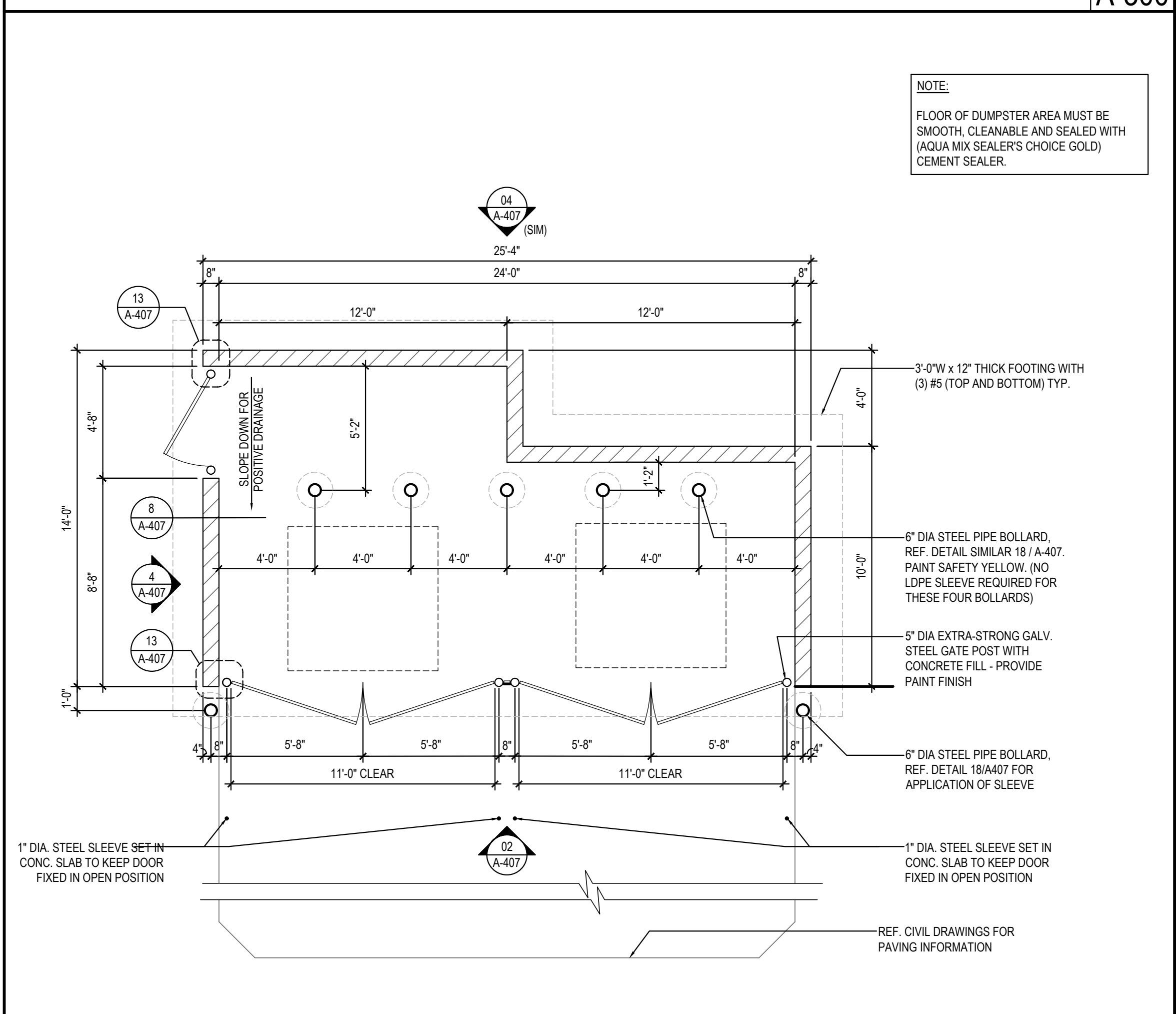
SIDE ELEVATION 4
Scale= 1/4" = 1'-0" **A300**



FRONT ELEVATION 2
Scale= 1/4" = 1'-0" **A-300**



FRONT ELEVATION 2
Scale= 1/4" = 1'-0" **A-300**



TRASH ENCLOSURE 1
Scale= 1/4" = 1'-0" **A-300**



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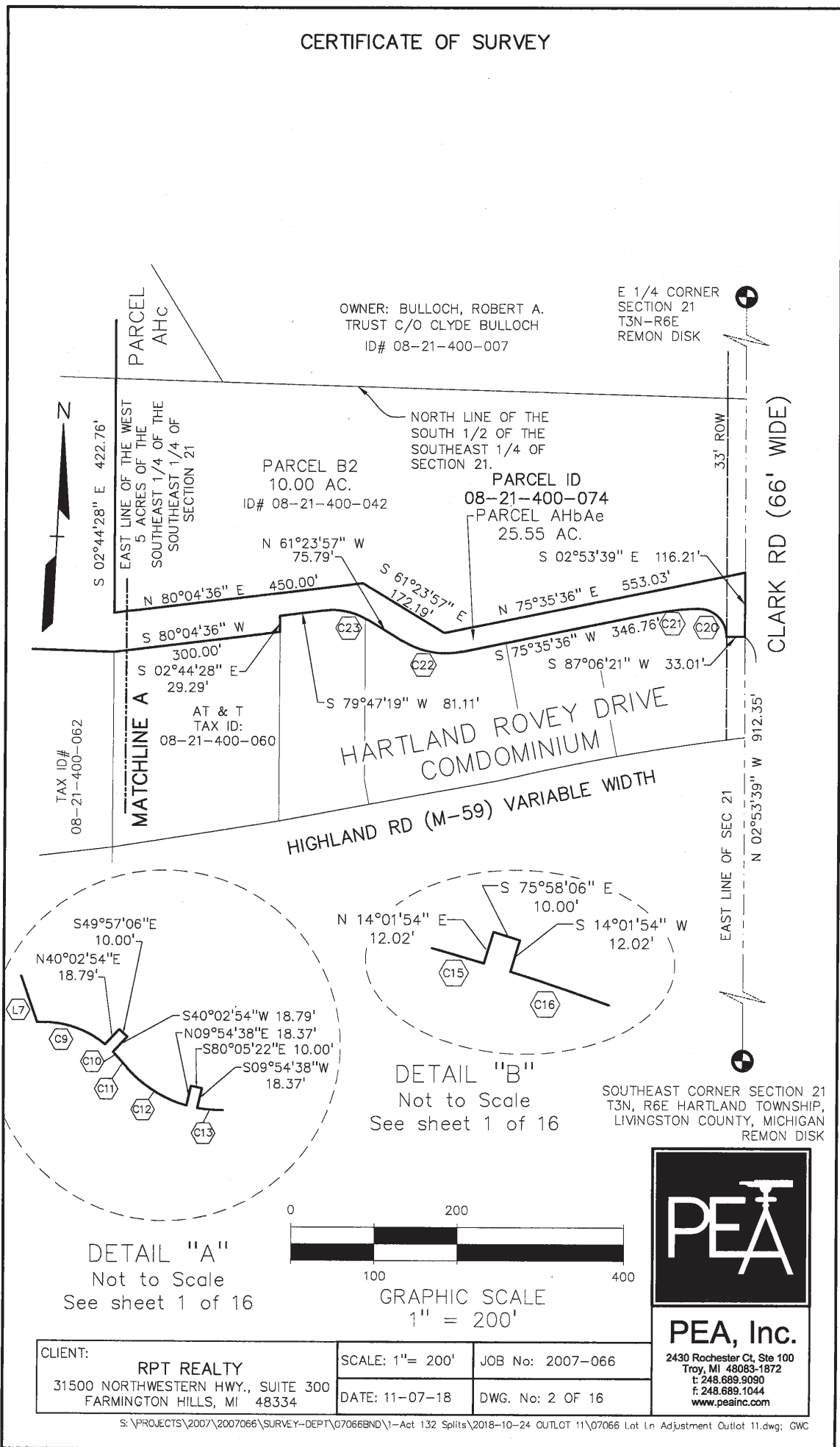
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TRUE WARM & WELCOME 2200
Hartland Square Rd. (US-23 & M-59)
HARTLAND, MI 48353

A-300
TRASH ENCLOSURE
DETAILS

Attachment: 14_Panda Express Site plans dated January 7, 2019 (2978 - Site Plan #19-002, Panda Express)

CERTIFICATE OF SURVEY

8.a.p



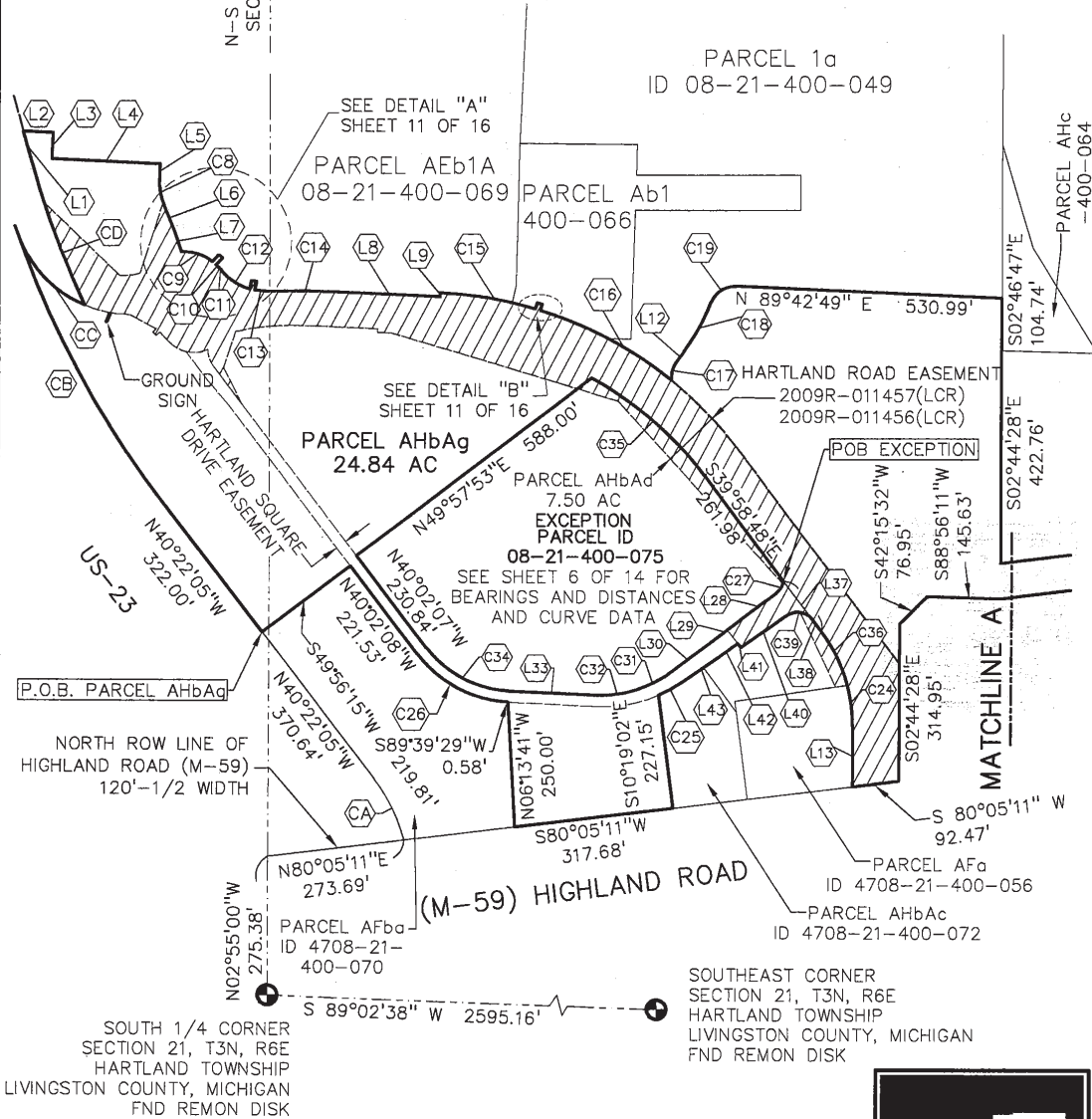
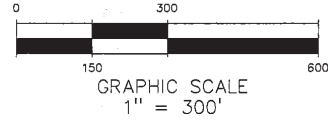
Attachment: 15. Rovey Drive - Land Division (2978 : Site Plan #19-002, Panda Express)

CERTIFICATE OF SURVEY

8.a.q


SEE SHEET 12 OF 16
FOR BEARINGS AND
DISTANCES AND
CURVE DATA

CENTER OF SECTION
SECTION 21
T3N, R6E HARTLAND TWP
LIVINGSTON COUNTY, MI
FOUND IRON



BASIS OF BEARING ARE REFERENCED
TO THE NORTH-SOUTH 1/4 LINE OF
SECTION 21 AS N02°55'00"W,
RECORDED IN L.1408, P.331 (LCR)

CLIENT: RPT REALTY 31500 NORTHWESTERN HWY., SUITE 300 FARMINGTON HILLS, MI 48334	SCALE: 1"= 300'	JOB No: 2007-066
	DATE: 11-07-18	DWG. No: 10 OF 16



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 Troy, MI 48083-1872
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